



DEPT. OF COMMUNITY
DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
PHONE: (479) 621-1186
FAX: (479) 986-6896

PLANNING COMMISSION MEETING AGENDA

JANUARY 16, 2024

5:30 PM

ONLINE VIEWING:

PLANNING COMMISSION: [HTTPS://US02WEB.ZOOM.US/J/85757590110](https://us02web.zoom.us/j/85757590110)

BOARD OF ADJUSTMENT: N/A

ZONING REVIEW COMMITTEE: [HTTPS://US02WEB.ZOOM.US/J/84024058404](https://us02web.zoom.us/j/84024058404)

DISCLAIMER: THE CITY OF ROGERS MAKES NO CLAIMS, PROMISES, OR GUARANTEES REGARDING THE PARTICIPANTS ABILITY TO ATTEND ANY PUBLIC MEETING VIRTUALLY. TECHNOLOGY RESOURCES, VIRTUAL MEETING PLATFORMS, AND THE INTERNET MAY OCCASIONALLY BE INTERRUPTED OR MADE UNAVAILABLE BY CAUSES BEYOND THE CITY'S REASONABLE CONTROL. THE CITY CANNOT GUARANTEE THAT PARTICIPANTS WILL HAVE THE OPPORTUNITY TO PARTICIPATE VIRTUALLY AT ALL TIMES. PUBLIC FORUMS, PUBLIC HEARINGS, AND SCHEDULED ITEMS OF BUSINESS WILL NOT BE TABLED OR POSTPONED DUE TO TECHNOLOGICAL ISSUES. IF YOU ARE REPRESENTING A PUBLISHED ITEM OF BUSINESS OR WISH TO SPEAK AT A PUBLIC HEARING, IN PERSON ATTENDANCE IS REQUIRED.

AGENDA

CALL TO ORDER:

ROLL CALL:

ACTION ON MINUTES:

1. January 2, 2024

PUBLIC FORUM:

REPORTS :

1. Staff
2. Commissioners

DECLARATION OF ABSTENTION:



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CONSENT AGENDA:

PUBLIC HEARINGS:

1.

RZN: Kimberly Johnson

A request by Kimberly Johnson to rezone 1203 S. 3rd Street and 0.19 acres directly to the south from the I-1 (Light Industrial) zoning district to the I-A (Industrial Arts) zoning district.

– *STAFF: Christina Moore*

– *REPRESENTED BY: Kimberly Johnson*

2.

RZN: Bellview Place

A request by Bellview Place to rezone 4030 W. West Drive from the RMF-6.5A (Residential Multifamily, 6.5 units per acre, ownership) zoning district to the RMF6.5A-CU (Residential Multifamily, 6.5 units per acre, ownership with Condominium Use) zoning district.

– *STAFF: Nicholas Little*

– *REPRESENTED BY: Aaron Wade*

3.

RZN/DCP: Taylor Subdivision

A request by Taylor Subdivision to rezone 2460 S. 26th Street and 0.46 acres directly to the south from the A-1 (Agricultural) zoning district to the N-R (Neighborhood Residential) zoning district with a Density Concept Plan.

– *STAFF: Nicholas Little*

– *REPRESENTED BY: Jessie Taylor*

CALL FOR RECESS:

1. Zoning Review Committee
 - Any items referred by Commission.

CALL TO ORDER:

OLD BUSINESS:

NEW BUSINESS:

1. All recommended items from committees.

COMMISSIONERS' FINAL COMMENTS:



**DEPT. OF COMMUNITY
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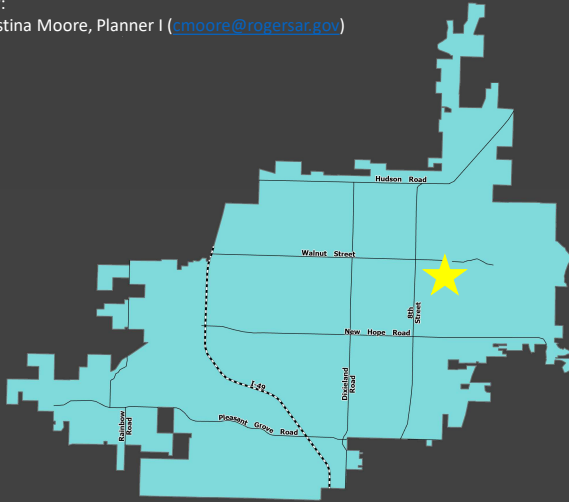
ADJOURN:



Rezone Johnson

PLANNING

Staff:
Christina Moore, Planner I (c.moore@rogersar.gov)



Vicinity Map

Location

1203 S 3rd Street & the property to the south

Current Zoning

I-1 (Light Industrial)

Requested Zoning

IA (Industrial Arts)

Growth Designation

Downtown Regional Center

Representative

Kim Johnson

SUMMARY:

Request to rezone subject location from I-1 to IA



Rezone Johnson

PLANNING



Geolocation

GEOLOCATION:

The properties are located east of Heritage High School near the intersection of S 3rd St and W Mulberry St



Rezone Johnson

PLANNING



FINDINGS:

- Applicant seeks a rezone from I-1 to IA
- The CGM designates this parcel to be IA

General Findings:

- The subject property is currently zoned I-1, which is not an allowed zoning district within the Regional Center (CGM Page 1).
- The requested zoning of IA is an allowed zoning district within the Regional Center (CGM Page 1).
- This property is designated to be IA per the Downtown Regional Center Zoning Map.

Current Zoning:

- *I-1 (Light Industrial):* This district is intended to allow industrial operations and activities that do not create appreciable nuisances or hazards. It also is to provide areas within the City for the storage and transfer of goods. All industrial operations and activities are permitted provided they are conducted inside a building, although related outdoor storage and display are permitted. This district is situated close to heavy commercial and industrial area and is intended to be located along rail lines and arterial and collector streets as identified by the master street plan. Sec. 14-713(a)

Requested Zoning:

- *IA (Industrial Art):* The purpose of the Industrial Arts Zone is to focus this area on the goal to establish local artisanal manufacturing, light industrial and businesses close by downtown. These developments will take advantage of being accessible to rail, trails and Arkansas Street. The intent is to mix manufacturing, residential, and retail in a walkable yet flexible format. Sec. 14-715(1.1)(a)(iii)

Growth Designation:

Downtown Regional Center.

Growth Designation Purpose:

To focus urban development in three areas – Downtown, Midtown, and Uptown – that serve as centers of gravity for the greater Northwest Arkansas region. (CGM Page 1).

Allowed Zoning Districts:

IA



- Applicant seeks a rezone from I-1 to IA
- The CGM designates this parcel to be IA

- The subject property is currently zoned I-1, which is not an allowed zoning district within the Regional Center (CGM Page 1).
- The requested zoning of IA is an allowed zoning district within the Regional Center (CGM Page 1).
- This property is designated to be IA per the Downtown Regional Center Zoning Map.

- *I-1 (Light Industrial):* This district is intended to allow industrial operations and activities that do not create appreciable nuisances or hazards. It also is to provide areas within the City for the storage and transfer of goods. All industrial operations and activities are permitted provided they are conducted inside a building, although related outdoor storage and display are permitted. This district is situated close to heavy commercial and industrial area and is intended to be located along rail lines and arterial and collector streets as identified by the master street plan. Sec. 14-713(a)

- **IA (Industrial Art):** The purpose of the Industrial Arts Zone is to focus this area on the goal to establish local artisanal manufacturing, light industrial and businesses close by downtown. These developments will take advantage of being accessible to rail, trails and Arkansas Street. The intent is to mix manufacturing, residential, and retail in a walkable yet flexible format. Sec. 14-715(1.1)(a)(iii)

Downtown Regional Center.

To focus urban development in three areas – Downtown, Midtown, and Uptown – that serve as centers of gravity for the greater Northwest Arkansas region. (CGM Page 1).

Allowed Zoning Districts:

IA



Rezone Johnson

PLANNING



Aerial Map

FINDINGS CONTINUED:

- Potential Uses under IA Zoning
 - Residential: attached dwelling units, multifamily and multi-unit home
- Other potential uses: galleries, finance, insurance, and real estate office, professional office, mixed-use with commercial and residential on top floor, and townhomes.

General Findings:

- The subject property is currently zoned I-1, which is not an allowed zoning district within the Regional Center (CGM Page 1).
- The requested zoning of IA is an allowed zoning district within the Regional Center (CGM Page 1).
- This property is designated to be IA per the Downtown Regional Center Zoning Map.



Rezone Johnson

PLANNING



Aerial Map

Recommendation
*Table to 2/6/24 due to
public notice requirement
not being met.*

Public Input Received:

- No public input

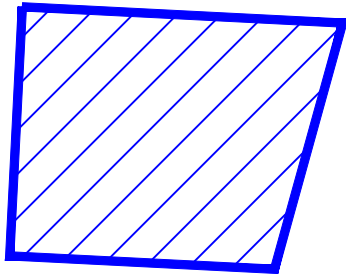
Recommendation:

Recommend to table due to the public notice requirement not being met.

Legal Description Confirmation

ERRY ST.

S 3rd ST



To Whom It May Concern:

BEFORE THE PLANNING COMMISSION OF THE CITY OF ROGERS, ARKANSAS

NOTICE OF PUBLIC HEARING FOR A REZONE REQUEST

Notice is hereby given pursuant to Section 14-725-730 of the Rogers City Code that Kimberly Johnson is applying to the Rogers Planning Commission to rezone certain real property at 1203 S. 3rd St. The property is more particularly described as follows:

LEGAL DESCRIPTION: Lots 5, 6 and 7 Blk 14 MCGAUGHEYS ORCHARD ADD

LAYMAN'S DESCRIPTION: 1203 S. 3rd St Rogers, AR 72756

PRESENT ZONING: I-1

ZONING REQUEST: IA

A public hearing by the Rogers Planning Commission will be held on January 16, 2024 at 4:30 p.m. in the City Council Chambers of the City Hall Building located at 301 W. Chestnut Street, Rogers, Arkansas.

Respectfully Submitted,

By: Kimberly Johnson

Prepared under the supervision of:
Blake Hanby, Attorney
3790 N. Bellafont Blvd, Suite 3
Fayetteville, AR 72703

**WARRANTY DEED
(Unmarried Person)**

File # 23-5636

KNOW ALL MEN BY THESE PRESENTS:

That I, **Phyllis Penick, an unmarried person and surviving spouse of Travis Penick, deceased**, hereinafter called Grantor, for and in consideration of the sum of One and No/100-----Dollars---(\$1.00) and other good and valuable consideration in hand paid by **Harrison Scott Johnson and Kimberly Michelle Johnson, a married couple**, hereinafter called Grantees, the receipt of which is hereby acknowledged, do hereby grant, bargain, sell and convey unto said Grantees and unto their heirs and assigns, forever, the following described land, situated and being in the County of Benton, State of Arkansas, to-wit:

Lots 5, 6 and 7 in Block 14 in McGaughey's Revised Orchard Addition to the City of Rogers, Benton County, Arkansas.

**Subject to easements, right-of-ways, and protective covenants of record, if any.
Subject to all prior mineral reservations and oil and gas leases, if any.**

TO HAVE AND TO HOLD the same unto said Grantees and unto their heirs and assigns, forever, with all appurtenances thereunto belonging. And I hereby covenant with said Grantees that I will forever warrant and defend the title to the said lands against all claims whatsoever.

Signature page to follow

WITNESS my hand and seal on this 8 day of December, 2023.

Phyllis Penick by: Rebecca Williams
Phyllis Penick by: Rebecca Williams, her
attorney-in-fact

attorney-in-fact

ACKNOWLEDGMENT

STATE OF ARKANSAS)
) SS
COUNTY OF BENTON)

On this day before the undersigned, a Notary Public, duly commissioned, qualified and acting, within and for the said County and State, appeared in person the within named **Rebecca Williams** known to me (or satisfactorily proven) to be the person whose name is subscribed to the foregoing instrument as attorney-in-fact for **Phyllis Penick**, and acknowledged that she has executed the same as the act of her principal for the consideration, uses and purposes therein set forth.

In Testimony Whereof, I have hereunto set my hand and official seal this 8 day of December, 2023.

Leisha Lohse
Notary Public

My Commission Expires: _____

After recording return to:
City Title & Closing LLC
3790 N. Bellafont Blvd, Suite 3
Fayetteville, AR 72703





Kimberly Johnson <kim10johnson@gmail.com>

Buffer Request

1 message

Rebecca Essenhofer <Rebecca.Essenhofer@bentoncountyar.gov>
To: "kim10johnson@gmail.com" <kim10johnson@gmail.com>

Mon, Dec 11, 2023 at 10:48 AM

Good morning,

Attached is the 300ft Buffer that you requested around parcels 02-05823-000 and 02-05822-000. Please let me know if you have any further questions.

Thank you!

**Rebecca Essenhofer**

Real Estate Deputy

Phone: 479-271-1037**Email:** rebecca.essenhofer@
bentoncountyar.gov

2109 W Walnut St

Rogers, AR 72756

www.bentoncountyar.gov

To Whom It May Concern:

BEFORE THE PLANNING COMMISSION OF THE CITY OF ROGERS, ARKANSAS

NOTICE OF PUBLIC HEARING FOR A REZONE REQUEST

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LAYMAN'S DESCRIPTION: 1203 S. 3rd St Rogers, AR 72756

PRESENT ZONING: I-1

ZONING REQUEST: IA

A public hearing by the Rogers Planning Commission will be held on January 16, 2024 at 4:30 p.m. in the City Council Chambers of the City Hall Building located at 301 W. Chestnut Street, Rogers, Arkansas.

Respectfully Submitted,

By: Kimberly Johnson

PROPERTY OWNER AFFIDAVIT

The petitioner, Kimberly Johnson, petitions the Planning Commission of the City of Rogers, Arkansas to rezone certain real property as set forth herein:

LEGAL DESCRIPTION: Lot 5, 6 & 7 Blk 14 McGaugheys Orchard Add

LAYMAN'S DESCRIPTION: 1203 SOUTH 3rd ST ROGERS, AR 72756 LOT 7

PRESENT ZONING: I-1

ZONING REQUEST: IA

Respectfully Submitted,

By: [Signature]
(Property Owner Signature)

STATE OF ARKANSAS
COUNTY OF Benton

Subscribed and sworn before me this the 11th day of December, 2023.

[Signature]
Notary Signature

Jacob Austin
Notary Name Printed

March 3rd, 2024
Commission Expires



Parcel #	Taxpayer Name	Taxpayer Address 1		Taxpayer Address	Taxpayer City	Taxp:	Taxpayer Zip
02-05821-000	ALVARADO, VALENTIN & MIRIAM MILAGRO	1207 N 23RD PL			ROGERS	AR	72756
02-01422-000	ARKANSAS & MISSOURI RAILROAD COMPANY	ATTN: CFO	306 E EMMA AVE		SPRINGDALE	AR	72764
02-05788-000	BROWN, LINDSEY R JR & SHANNON L	1114 S 3RD ST			ROGERS	AR	72756-5410
02-05808-000	CAMACHO, JAIME CELIS & CELIS, SILVIA	1701 W CAPPS RD			ROGERS	AR	72758-6488
02-05801-000	CATALAN, TONYA	1200 S 3RD ST			ROGERS	AR	72756-5412
02-01428-000	CITY OF ROGERS	ATTN: CITY CLERK	301 W CHESTNUT ST		ROGERS	AR	72756-4559
02-01430-000	CITY OF ROGERS	ATTN: CITY CLERK	301 W CHESTNUT ST		ROGERS	AR	72756-4559
02-05809-000	CITY OF ROGERS	ATTN: CITY CLERK	301 W CHESTNUT ST		ROGERS	AR	72756-4559
02-05804-001	CONTRERAS, FLORENTINO & NAREZ, MARIA VASQUES	1204 S 3RD ST UNIT B			ROGERS	AR	72756
02-05810-000	CORLETO, CARLOS AUGUSTO	1303 S 4TH ST			ROGERS	AR	72756-5421
02-05789-000	DAVIDSON, PAMELA J	1122 S 3RD ST			ROGERS	AR	72756-5410
02-01426-000	DELICIE A KINCAID LLC	15863 KEDZIE CIR			ROGERS	AR	72758
02-05803-000	FLOYD, ANTONY & AMBER	1202 S 3RD ST			ROGERS	AR	72756
02-05804-000	HALL, ANTHONY & LINDSAY	33 FOUNTAINHALL DR			BELLA VISTA	AR	72715
02-05802-000	HENRIKSON, GREGG V & MARIE ANN C	1203 S 4TH ST			ROGERS	AR	72756-5419
02-05802-001	HENRIKSON, GREGG V & MARIE ANN C	1203 S 4TH ST			ROGERS	AR	72756-5419
02-05824-000	HOLMAN, SHENA J	1207 S 3RD ST			ROGERS	AR	72756-5411
02-05790-000	KASPERSKI, MICHAEL	303 W MULBERRY ST			ROGERS	AR	72756-5473
02-05812-000	LOCKMAN, NATHAN & FRANCINE	1216 S 3RD ST			ROGERS	AR	72756-
02-05806-000	LOPEZ, CIRILO	1208 S 3RD ST			ROGERS	AR	72756-5412
02-05807-000	LOPEZ, CIRILO	1208 S 3RD ST			ROGERS	AR	72756-5412
02-05822-000	PENICK, PHYLLIS	1203 S 3RD ST			ROGERS	AR	72756
02-05823-000	PENICK, PHYLLIS	1203 S 3RD ST			ROGERS	AR	72756-5411
02-05811-000	REBORN ENDEAVORS LLC	4201 W PLEASANT DR			ROGERS	AR	72758
02-05827-000	RIGSBEE, THOMAS	3500 N SUSAN PL			ROGERS	AR	72756-5411
02-01450-000	ROGERS PUBLIC SCHOOL DISTRICT 30	500 W WALNUT ST			ROGERS	AR	72756-3774
02-05787-001	RPC LAND HOLDINGS LLC	16670 SUGAR CREEK RD			GARFIELD	AR	72732
02-05805-000	SHUFELT, MINDY JO & SCOTT EDWARD	622 S 2ND ST			ROGERS	AR	72756
02-05825-000	MITCHELL, WILLIAM ISAAC & SHELLEY RAE TRUSTEES ET AL	1062 QUAIL RUN			SPRINGDALE	AR	72764-
02-05826-000	MITCHELL, WILLIAM ISAAC & SHELLEY RAE TRUSTEES ET AL	1062 QUAIL RUN			SPRINGDALE	AR	72764-
02-05820-000	VINSON SQUARE LLC	9377 ALICIA DAWN DR			ROGERS	AR	72758-9704



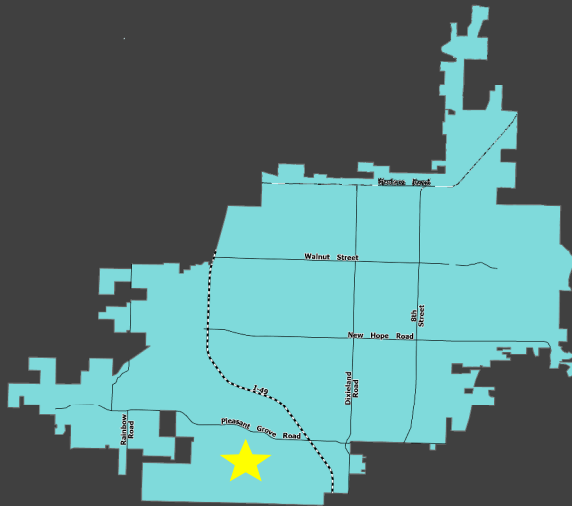


Rezone

PLANNING

Bellview Place

Staff: Nicholas Little, Planner (nlittle@rogersar.gov)



Vicinity Map

CGM Designation
Neighborhood

Zoning
RMF-6.5A (Residential Multi-Family, 6.5 units per acre)
with Density Concept Plan

Proposed Zoning
RMF-6.5A-CU (Residential Multi-Family, 6.5 units per
acre, with Condominium Unit) with Density Concept
Plan

Location
4020 W West Drive; SW corner of Bellview Road and
West Drive

Representative
Aaron Wade, Bespoke Homes

Location:

This is located in south Rogers, south of the intersection of W Pleasant Grove Road and S Bellview Road.



Rezone

Bellview Place

PLANNING



Geolocation:

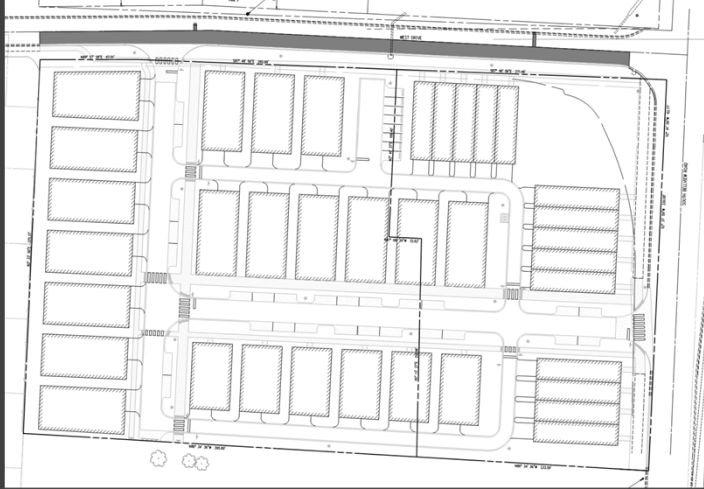
Located at the intersection of S Bellview and W West Drive



Rezone

Bellview Place

PLANNING



Approved LSDP Site Plan

Background

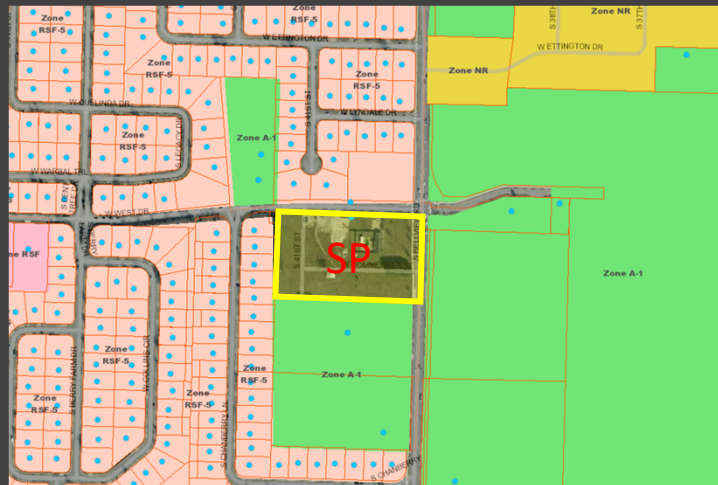
- A RZN/DCP was approved by Planning Commission on 5/3/22.
- Subsequently, the Large Scale Development Plans were approved by Planning Commission on 3/7/2023



Rezone

Bellview Place

PLANNING



Zoning

Rezone Request

RMF-6.5A to
RMF-6.5A-CU

Note: The rezone request is only to add the Condominium Unit District to the existing RMF-6.5A zoning approved through the density concept plan and rezone

Rezone Request:

The applicant is requesting to rezone the subject property from RMF-6.5A to RMF-6.5A, with Condominium Unit. This request is to add the condominium unit district to the existing zoning designations.

ZONING:

RMF-6.5A (Residential Multi-family, 8 units per acre, to own)

This district is intended to provide suitable areas within the City for attached and detached residential development. The zoning shall be designated as R-MF followed by the specific density per acre in increments of one-half units per acre. The letter "A" or "B" will follow unit density to designate rental or individual ownership with "A" being individual ownership and "B" being rental. The district is intended for areas that have access for vehicular traffic from collector or higher classification streets without traversing minor streets in adjoining residential neighborhoods. New single-family dwellings are not permitted to ensure that vacant land set aside for multifamily development is not preempted by less intense development. The zero-lot-line concept, which permits construction with no side yard setback on one side, may be used within such districts. Horizontal property regimes shall be permitted in this district. This zoning district replaces the former R-3 and all former RMF zoning districts. Sec. 14-703(a)

CU (Condominium Unit District)

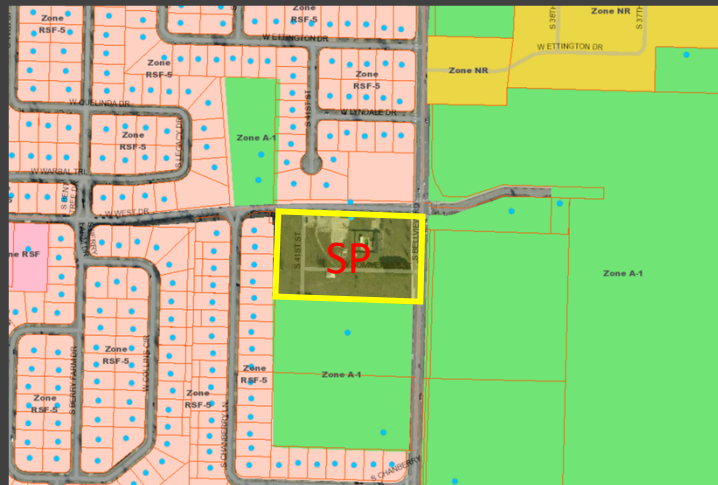
The condominium unit district is established to allow multiple ownership of a building and or property utilizing the zero lot line and townhouse concepts. This district must be used in combination with another district to establish the land use limitations and the maximum density of development. These district combinations shall be located in those areas of the City where adequate facilities either exist prior to development or can be provided in conjunction with development and where the proposed development is compatible with the surrounding environment. Sec. 14-716(a)



Rezone

Bellview Place

PLANNING



Zoning

Condominium Unit District Purpose and Intent - Sec. 14-716(a)

- “The condominium unit district is established to allow multiple ownership of a building and or property utilizing the zero lot line and townhouse concepts. This district must be used in combination with another district to establish the land use limitations and the maximum density of development. These district combinations shall be located in those areas of the City where adequate facilities either exist prior to development or can be provided in conjunction with development and where the proposed development is compatible with the surrounding environment.”

Condominium Unit District Purpose and Intent:

“The condominium unit district is established to allow multiple ownership of a building and or property utilizing the zero lot line and townhouse concepts. This district must be used in combination with another district to establish the land use limitations and the maximum density of development. These district combinations shall be located in those areas of the City where adequate facilities either exist prior to development or can be provided in conjunction with development and where the proposed development is compatible with the surrounding environment.” Sec. 14-716(a)



Rezone

Bellview Place

PLANNING



CGM

Staff Analysis

- The subject location is zoned correctly per the Comprehensive Growth Map. The Condominium Unit district can be used in combination with any zoning district.
- Adequate facilities will be provided in conjunction with the development. The proposed development has already been deemed as suitable with the surrounding context through DCP and Large-Scale approval.

Staff Analysis

- RMF-6.5 is allowed within the Neighborhood Growth Designation. The Condominium Unit district can be used in combination with any zoning district.
- Adequate facilities will be provided in conjunction with the development. This proposal has already been deemed as suitable with the surrounding context through DCP and Large-Scale approval.

Growth Designation:

Neighborhood

Growth Designation Character:

Single-use residential areas connected by collector and local streets that may feature community-oriented non-residential uses such as schools, resource centers, and places of worship. Goals include preserving locations for low density residential while limiting its proliferation in areas proposed for higher-intensity development. (CGM Page 1)

Base Density:

6 units/acre

Max Density:

12 units/acre

Allowed Zoning Districts

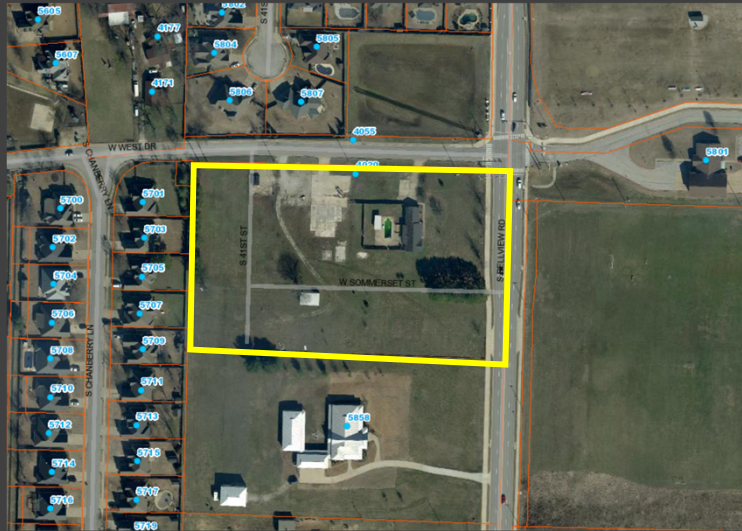
R-SF, N-R, R-DP, R-MF



Rezone

Bellview Place

PLANNING



Recommendation
APPROVE

Site Aerial

Public Input Received:

We received one inquiry on the request, seeking confirmation that there were no physical changes to the design of the site, or that there were no more proposed units than what was previously approved.

RECOMMENDATIONS:

APPROVE

Possible Committee Motions:

- Move to recommend approval to the full Planning Commission as presented
- Move to recommend denial to the full Planning Commission as presented

Possible Planning Commission Motions:

- Move to recommend approval to City Council as presented
- Move to deny the request as presented



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OFFICE USE ONLY

Permit Fee: _____ (\$200)
Zoning: _____ to _____
Permit Number: _____
CityView Application: _____
Date: _____

REZONE APPLICATION

APPLICANT: Bespoke Homes

ADDRESS: 2090 W. Pleasant Grove Rd., Rogers SUITE #: _____

GENERAL LOCATION OF PROPERTY: West of S. Bellview, South of W. West Drive

PARCEL NUMBER: 02-14175-015

PHONE #: 662-808-8522 EMAIL: aaron@bespokeMWA.com

PROPERTY OWNER: Bellview Holdings LLC PHONE #: 662-808-8522

PRESENT USE: single/multi-family residential ZONING: RMF-6.5A

PROPOSED USE: single/multi-family residential ZONING: RMF-6.5A-CU

[Signature] 12-20-23
Applicant Signature Date

Attachment Checklist:

- ☐ Legal description of property
- ☐ Parcel Number for property
- ☐ Applicant Certification
- ☐ Property Owner Affidavit
- ☐ Site plan as needed

PLANNING STAFF PROVIDES:

DATE FILED: _____ PUBLIC HEARING DATE: _____ CERTIFIED MAIL DATE: _____

PLANNING COMMISSION ACTION: _____ DATE: _____

CITY COUNCIL ACTION: _____ DATE: _____

ORDINANCE NUMBER: _____ COMMENTS: _____

PROPERTY OWNER AFFIDAVIT

The petitioner, Bellview Holdings LLC + P. Briggs & Assoc. LLC, petitions the Planning Commission of the City of Rogers, Arkansas to rezone certain real property as set forth herein:

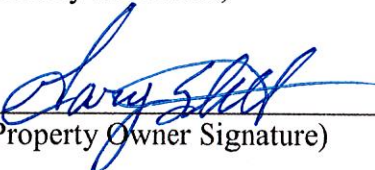
LEGAL DESCRIPTION:

LAYMAN'S DESCRIPTION:

PRESENT ZONING: MMF-6.5A

ZONING REQUEST: MMF-6.5A-CU

Respectfully Submitted,

By: 
(Property Owner Signature)

STATE OF ARKANSAS

COUNTY OF Benton

Subscribed and sworn before me this the 20th day of December, 2023.




Notary Signature

Daira Leding
Notary Name Printed

8-10-2031
Commission Expires

CERTIFICATION

I hereby state that to the best of my knowledge all property owners within 300 feet of my property have been notified by Certified mail at least 15 days prior to the upcoming public hearing for my rezone request.

Dated this the 2 day of January, 2024.



Signed.

Aaron Wade

Name printed.

STATE OF ARKANSAS

COUNTY OF Benton

Subscribed and sworn before me this the 2nd day of January, 2024



Notary Signature

Daira Leding

Notary Name Printed

8-10-2031

Commission Expires



DEPT. OF COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
PHONE: (479) 621-1186
FAX: (479) 986-6896

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Rogers Planning Commission in the Rogers City Hall at 301 West Chestnut Street on **January 16, 2024** at **5:30 p.m.** on the application by **Bellview Place** to rezone **4030 W. West Drive** from the **RMF-6.5A** (Residential Multifamily, 6.5 units per acre, ownership) zoning district to the **RMF6.5A-CU** (Residential Multifamily, 6.5 units per acre, ownership with Condominium Use) zoning district, the property being more particularly described as follows:

PROPERTY DESCRIPTION:

4030 W. West Drive

Parcel Numbers: 02-14175-015

Samantha Best, Secretary
Planning Commission

PUBLISH ONE TIME ONLY: **Sunday December 31, 2023**
BILL THE CITY OF ROGERS

Bellview Place Rezone

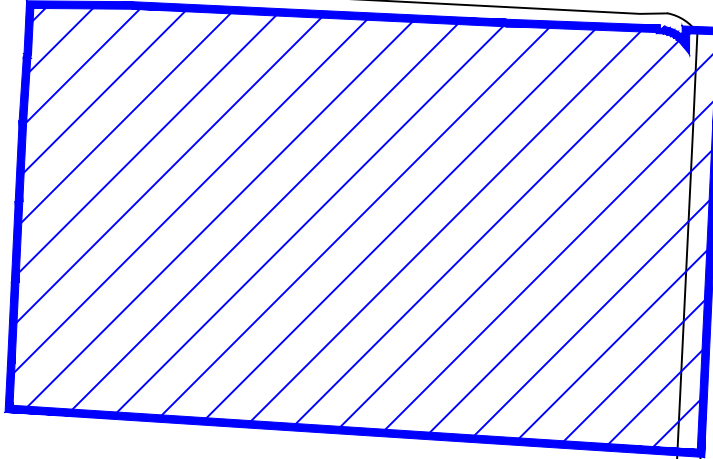
02-14175-015

A PART OF THE NE1/4 OF THE NE1/4 AND A PART OF THE SE1/4 OF THE NE1/4 OF SECTION 33, TOWNSHIP 19 NORTH, RANGE 30 WEST OF THE FIFTH PRINCIPAL MERIDIAN, BENTON COUNTY, ARKANSAS, AND BEING DESCRIBED AS FOLLOWS: BEGINNING AT AN IRON PIN FOUND FOR THE SE CORNER OF THE NE1/4 OF THE NE1/4 OF SECTION 33, TOWNSHIP 19 NORTH, RANGE 30 WEST, SAID IRON PIN BEING THE TRUE POINT OF BEGINNING AND ALSO BEING IN THE RIGHT OF WAY OF BELLVIEW ROAD; THENCE S00°09'24"W 330.00 FEET TO A POINT IN SAID RIGHT OF WAY; THENCE N89°34'41"W 627.00 FEET TO A SET IRON PIN, THENCE N00°09'24"E 381.27 FEET TO AN IRON PIN SET ON THE SOUTH RIGHT OF WAY OF BENTON COUNTY ROAD 237; THENCE ALONG THE SOUTH RIGHT OF WAY OF BENTON COUNTY ROAD 237 N87°28'53"E 94.71 FEET TO A SET IRON PIN; THENCE ALONG SAID RIGHT OF WAY N89°42'29"E 532.45 FEET TO A POINT ON THE EAST BOUNDARY OF THE SAID NE1/4 OF THE NE1/4; THENCE S00°12'25"W 62.77 FEET TO THE TRUE POINT OF BEGINNING, CONTAINING 5.59 ACRES, MORE OR LESS, AND BEING SUBJECT TO THE RIGHT OF WAY OF BELLVIEW ROAD ALONG THE EAST SIDE AND BENTON COUNTY ROAD 237 ALONG THE NORTH SIDE AND TO ALL OTHER EASEMENTS OR RIGHT OF WAYS BY PRESCRIPTION OR OF RECORD. LESS & EXCEPT A PART OF THE NORTHEAST QUARTER (NE ¼) OF THE NORTHEAST QUARTER (NE ¼) OF SECTION 33, TOWNSHIP 19 NORTH, RANGE 30 WEST DESCRIBED AS FOLLOWS: COMMENCE AT THE FOUND REBAR PIN AT THE SOUTHEAST CORNER OF SAID NORTHEAST QUARTER (NE ¼) OF THE NORTHEAST QUARTER (NE ¼) OF SAID SECTION 33 AND RUN THENCE NORTH 2° 40' 55" EAST ALONG THE EAST LINE OF SAID 40 ACRE TRACT A DISTANCE OF 62.76 FEET TO GRANTOR'S NORTHEAST PROPERTY CORNER; THENCE LEAVING SAID EAST LINE NORTH 87° 49' 04" WEST ALONG GRANTOR'S NORTH PROPERTY LINE A DISTANCE OF 32.31 FEET TO THE EXISTING RIGHT OF WAY LINE AND THE "TRUE POINT OF BEGINNING" OF THIS DESCRIPTION; THENCE LEAVING SAID NORTH LINE S 1°04' 10" WEST ALONG SAID EXISTING RIGHT OF WAY LINE A DISTANCE OF 12.28 FEET TO THE PROPOSED RIGHT OF WAY LINE; THENCE LEAVING SAID EXISTING RIGHT OF WAY LINE ALONG SAID PROPOSED RIGHT OF WAY AND CURVE TO THE LEFT, SAID CURVE HAVING A RADIUS OF 30.00 FEET; A CHORD BEARING NORTH 60° 55' 29" WEST, A CHORD LENGTH OF 27.13 FEET, THENCE ALONG THE ARC OF THE CURVE A DISTANCE OF 28.16 FEET TO GRANTOR'S NORTH PROPERTY LINE; THENCE LEAVING SAID CURVE AND PROPOSED RIGHT OF WAY SOUTH 87° 49' 04" EAST ALONG SAID NORTH LINE A DISTANCE OF 23.96 FEET TO THE POINT OF BEGINNING, CONTAINING 87.71 SQUARE FEET, MORE OR LESS. SURVEY 2/29/2012 2012-84

CHANBERRY LANE

Legal Description Confirmation

WEST DRIVE



BELLVIEW RD



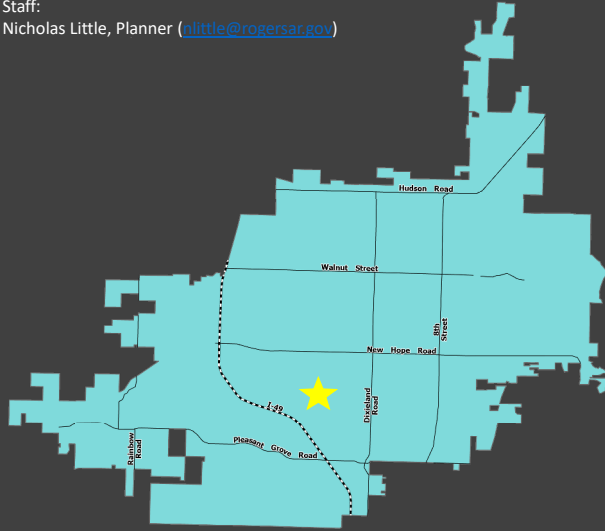
Rezone/DCP

PLANNING

Taylor Subdivision

Staff:

Nicholas Little, Planner (nlittle@rogersar.gov)



Vicinity Map

CGM Designation

Neighborhood; Commerce Corridor

Zoning

A-1 (Agricultural)

Proposed Zoning

N-R (Neighborhood Residential) with a Density Concept Plan

Location

2460 S 26th Street

Representative

Taylor McBride, Natural State Engineering

Location:

The applicant is proposing a rezone and density concept plan located in central Rogers, south of the intersection of S 26th Street and W Perry Road.



Taylor Subdivision



GEOLOCATION

The property is located on the west side of S 26th Street, just northeast of The Peaks Phase 2.



Rezone/DCP

PLANNING

Taylor Subdivision



Rezone Request
A-1 to N-R

Rezone Request:

The applicant is requesting to rezone the subject property from A-1 (Agricultural) to N-R (Neighborhood Residential). The property is adjacent to A-1 zoning on most sides, but does touch RMF-9A zoning and is near an RSF-5 neighborhood.

ZONING:

N-R with DCP:

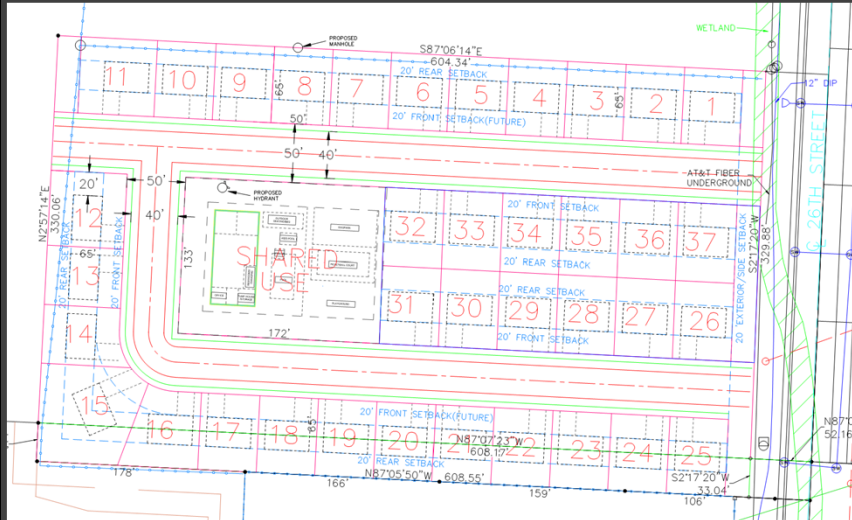
"The N-R neighborhood residential district is created to encourage the continuation and revitalization of low- to medium-density housing throughout the City. Goals of the N-R district can be: Make more efficient use of existing infrastructure such as streets, and water and sewer lines, provide affordable housing opportunities within the City, minimize traffic congestion by reducing commuting distances, and relieve some of the pressure from suburban sprawl by promoting new development in more established areas." Sec. 14-702(a).



Rezone/DCP

Taylor Subdivision

PLANNING



Site Plan

Density Concept Plan Request

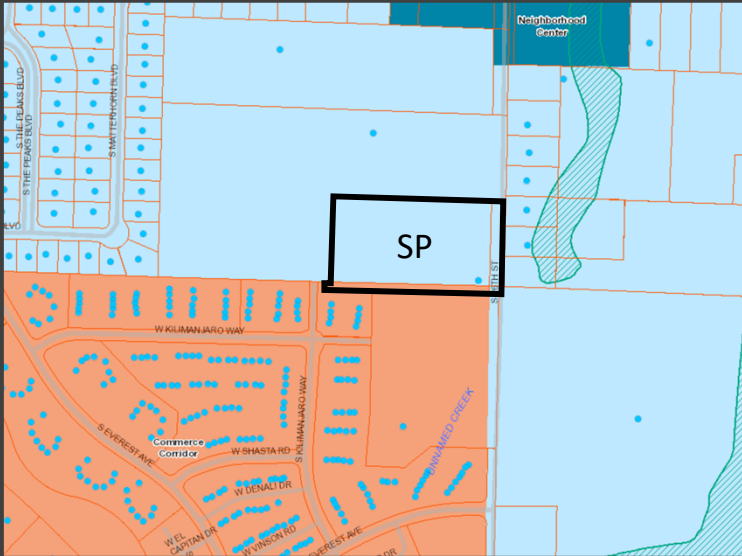
A proposal to develop 37 units on about 5.05 acres, resulting in a density of 7.3 units per acre.

Density Concept Plan Request:

The applicant is proposing an 37-unit single-family subdivision, with common area, on 5.05 acres. This proposal has a density of about 7.3 units per acre, trigger DCP requirement. Any development with a density greater than 6 units per acre within the Neighborhood Growth Designation requires a Density Concept Plan.



Taylor Subdivision



Comprehensive Growth Map

Staff Analysis

- The requested zoning is allowed within the Neighborhood Growth Designation
- The proposed density of 7.3 units/acre is above the BASE for this growth designation at 6 units/acre
- The development is located adjacent to the Commerce Corridor Growth Designation, which allows for a higher intensity of development than Neighborhood. There is also a Neighborhood Center just north of the location of the proposal.

COMPREHENSIVE GROWTH MAP:

This site is located within a Neighborhood Growth Designation. The requested zoning of N-R is permitted within this area. The proposed density is greater than the BASE allowed density in Neighborhood, so a DCP is required. The development proposal is adjacent to the Commerce Corridor, which is considered a higher intensity district. It is also less than a quarter of a mile to the nearest neighborhood center.

Growth Designation:

Neighborhood

Growth Designation Character:

Single-use residential areas connected by collector and local streets that may feature community-oriented non-residential uses such as schools, resource centers, and places of worship. Goals include preserving locations for low-density residential while limiting its proliferation in areas proposed for higher-intensity development. (CGM Page 1).

Base Density:

6 units/acre

Max Density:

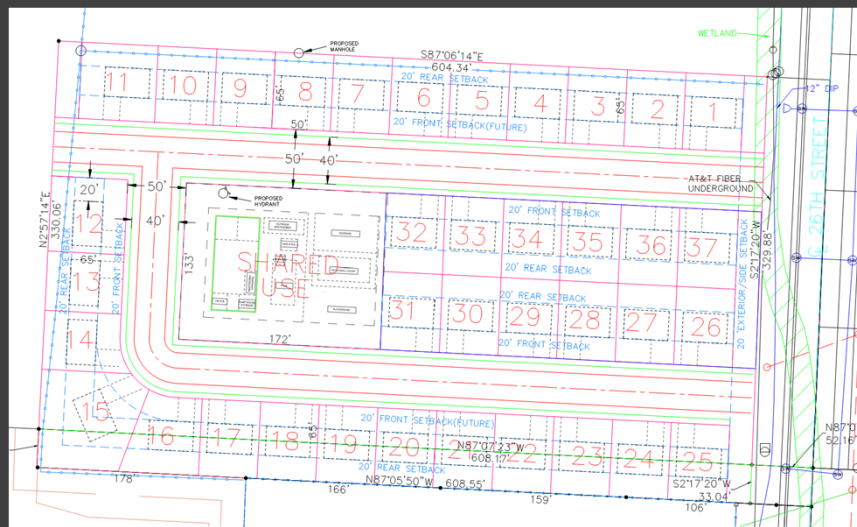
12 units/acre



Rezone/DCP

Taylor Subdivision

PLANNING



Site Plan

Staff Analysis:

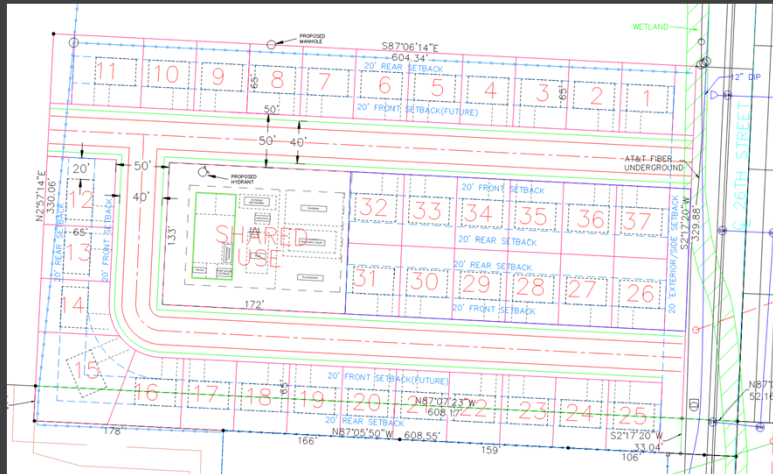
- The proposed use is allowed within the requested zoning designation.
- Underlying N-R zoning requirements are being met for each lot.

Staff Analysis:

- Residential single-family is allowed within the requested rezone.
- Underlying N-R requirements are being met for each lot.



Taylor Subdivision



Site Plan

Staff Analysis:

- The proposed east-west streets do not appear to meet the 200' minimum separation distance.
- Street shall be clearly labeled as Right-of-Way.
- There seems to be no consideration for stormwater detention, which could affect the future layout of the site.
- This site will require a wetland delineation, which could affect the future layout of the site dependent on delineation findings.
- Street layout may or may not meet Rogers Risk Reduction IFC standards.

Engineering Staff Analysis:

- The proposed east-west streets do not appear to meet the 200' minimum separation distance. An administrative waiver would be required if not met.
- Street shall be clearly labeled as Right-of-Way.
- There seems to be no consideration for stormwater detention, which could affect the future layout of the site.
- This site will require a wetland delineation, which could affect the future layout of the site dependent on delineation findings.



Rezone/DCP

Taylor Subdivision

PLANNING



Staff Analysis:

The maximum height allowed for N-R, when the proposed side "yard"(setback) is less than 15', is 35' or 2.5 stories. The proposed elevations show the tallest point of any structure to be just under 30'.



Rezone/DCP

PLANNING

Taylor Subdivision



Aerial Map

Recommendation:

Refer to Committee

Drainage and other engineering items will be reviewed with the submission of the Large-Scale Plans.

Public Comment Received:

No comments from the public have been received.

Drainage:

Drainage and other engineering items will be reviewed with the submission of the Large-Scale Plans.

RECOMMENDATIONS:

Refer to Committee.

Possible Committee Motions:

- Move to recommend approval to the full Planning Commission as presented
- Move to recommend denial to the full Planning Commission as presented

Possible Planning Commission Motions:

- Move to recommend approval to City Council as presented
- Move to deny the request as presented



COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
planning@rogersar.gov
(479) 621-1186

OFFICE USE ONLY

Approved Density: _____

Application Number: _____

CityView Project: _____

Date Approved: _____

DENSITY CONCEPT PLAN
To be submitted with Rezone Application

PROJECT INFORMATION:

PROJECT NAME:	Taylor Subdivision
ADDRESS/LOCATION:	2460 26th Street
PROPOSED ZONING:	N-R
PROPOSED DENSITY:	7.33 (gross) - 12.01 (net)
GROSS SITE AREA:	5.05 ac
DWELLING UNITS:	37
BUILDING TYPE:	Residential

APPLICANT INFORMATION:

APPLICANT/REPRESENTATIVE:	Taylor McBride, Natural State Engineering	PHONE:	(974) 391-9225
		EMAIL:	Taylor@naturalstateengineering.net
PROJECT OWNER/DEVELOPER:	Jesse Taylor	PHONE:	(479) 866-6226
		EMAIL:	jtaylor@wigginsincorporated.com
PROPERTY OWNER:	Jesse Taylor	PHONE:	(479) 866-6226
		EMAIL:	jtaylor@wigginsincorporated.com
REQUEST:	DCP and Rezone		

CITY INFORMATION:

CGM GROWTH DESIGNATION:	Neighborhood Residential
CGM GROWTH DESIGNATION PURPOSE/CHARACTER:	Purpose- to encourage the continuation and revitalization of low- to medium-density housing throughout the City. Character- Single-use residential areas connected by collector and local streets that may feature community-oriented non-residential uses such as schools, resource centers, and places of worship. Goals include preserving locations for low-density residential while limiting its proliferation in areas proposed for higher-intensity development.
BASE DENSITY:	6
MAX DENSITY:	12
CURRENT ZONING:	A-1

APPLICANT SIGNATURE: _____

SUBMITTAL DATE: 10/27/23 _____



DEPT. OF COMMUNITY DEVELOPMENT
PLANNING DIVISION
CITY OF ROGERS, ARKANSAS
301 W. CHESTNUT
PHONE: (479) 621-1186
FAX: (479) 986-6896

OFFICE USE ONLY

Permit Fee: _____ (\$200)
Zoning: _____ to _____
Permit Number: _____
CityView Application: _____
Date: _____

REZONE APPLICATION

APPLICANT: Jessie Taylor, via Taylor McBride of Natural State Engineering

ADDRESS: 2460 S. 26th Street SUITE #: _____

GENERAL LOCATION OF PROPERTY: 26th Street between W Everest Ave and W Perry Road

PARCEL NUMBER: 02-01712-050, 02-02087-264

PHONE #: (479) 391-9225 EMAIL: taylor@naturalstateengineering.net

PROPERTY OWNER: _____ PHONE #: _____

PRESENT USE: Single family home, open space ZONING: A-1

PROPOSED USE: Neighborhood residential ZONING: N-R

10/24/2023

Applicant Signature

Date

Attachment Checklist:

- ☐ Legal description of property
- ☐ Parcel Number for property
- ☐ Applicant Certification
- ☐ Property Owner Affidavit
- ☐ Site plan as needed

PLANNING STAFF PROVIDES:

DATE FILED: _____ PUBLIC HEARING DATE: _____ CERTIFIED MAIL DATE: _____

PLANNING COMMISSION ACTION: _____ DATE: _____

CITY COUNCIL ACTION: _____ DATE: _____

ORDINANCE NUMBER: _____ COMMENTS: _____



Site Information for Taylor Subdivision DCP

October 27, 2023

City of Rogers- Planning and Development
301 W. Chestnut
Rogers, AR 72745

To whom it may concern-

The following information is to accompany the Density Concept Plan (DCP) and Rezone for parcels 02-01712-050, and 02-02087-264.

Both parcels are currently zoned A-1. Parcel 02-01712-050 has a Comprehensive Growth Designation as Neighborhood Residential (N-R), while Parcel 02-02087-264 has a Comprehensive Growth Designation as Uptown Neighborhood Transition (U-NBT). We request that the entirety of the property be allowed the N-R designation to allow for a residential development of single-family homes with shared common space. Please reference the attached concept site plan for better detail on the future desired property use.

We would further request for a reduction of minimum lot size to 3000 sq. ft. with no minimum lot width or depth, with a DCP. The properties are located within 300' of a higher-density growth designation (Adjoining U-NBT to the south), and the houses are aligned and offer an area for shared open space.

The Density Concept Plan request would allow for the following properties:

Total area: 5.05 ac
Building setbacks:
Front- 20'
Rear- 20'
Interior side- 6'
Exterior side- 20'

Buildings will take up a maximum of 30% of each lot.

Total green space would be approximately 1.7 ac 32.2% of total space.

Total impervious area would be approximately 2.50 ac.

The large number of trees surrounding the property are intended to be saved, while interior trees will be kept where possible, though many will have to be removed for construction. The northeast corner of the property contains a small area for drainage of an off-site wetland to the



Natural State Engineering

Proudly Serving NWA

city's stormwater network. No other remarkable physical constraints or easements exist within the property boundaries.

Current zoning for the 4.59 ac lot - A-1

(CGM Zoning:N-R)

Proposed zoning for the 4.59 ac lot: N-R

Current zoning for the 0.46 ac lot - A-1

(CGM Zoning:U-NBT)

Proposed zoning for the 0.46 ac lot: N-R

Total number of dwelling units proposed: 37

Gross Density: 37 units / 5.05 ac = 7.33 units/ac

Net Density: 37 units / (1.20+0.90+0.98) ac = 12.01units/ac

Thank you for your time and consideration in this matter. Should any questions arise, or more information be required, please contact us at any time.

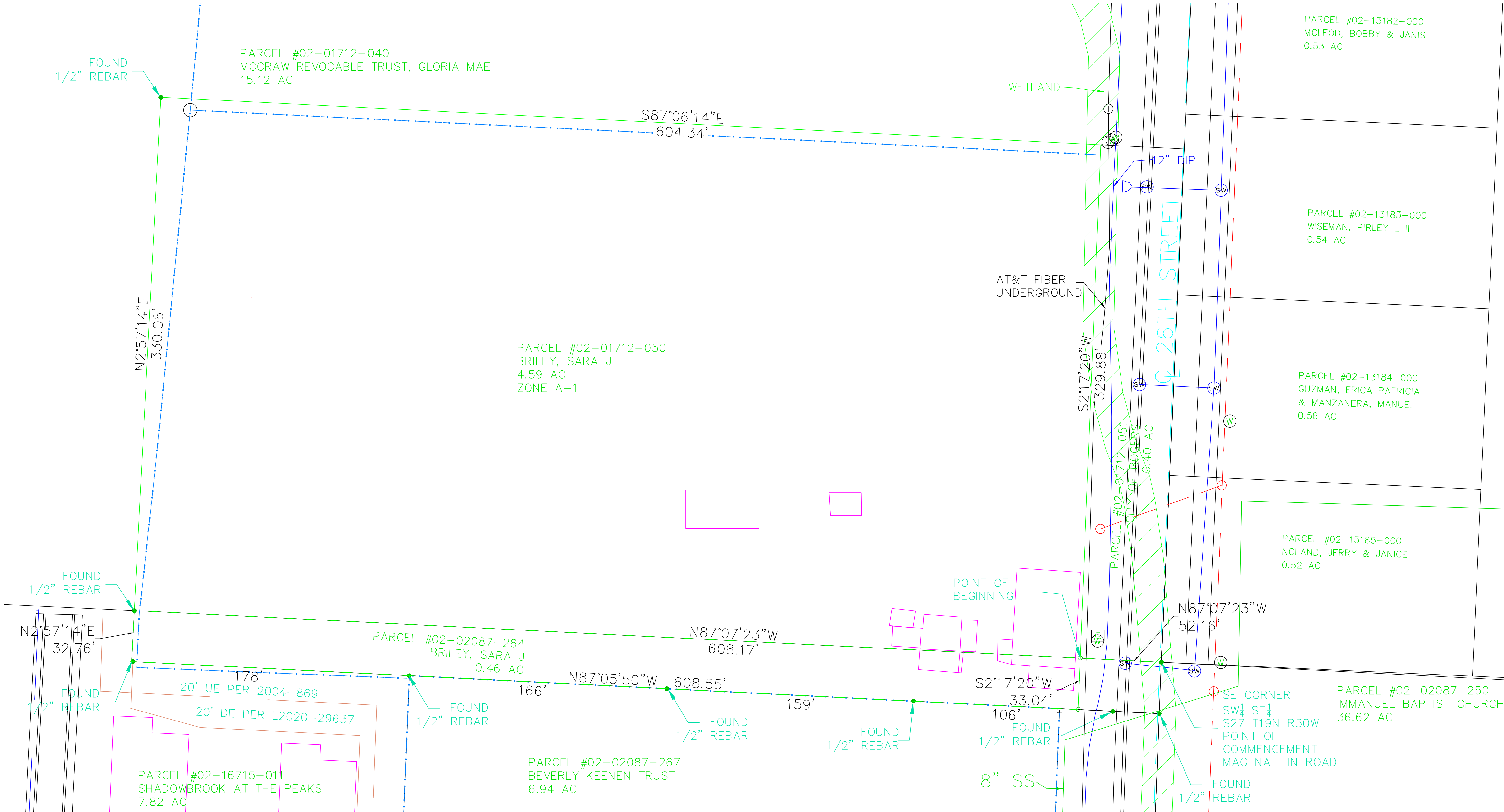
Respectfully,

Taylor McBride, P.E.

Natural State Engineering, PLLC

(479) 391-9225

Taylor@naturalstateengineering.net



BOUNDARY SURVEY

SCALE 1" = 30'

- TOTAL NEW DEVELOPMENT AREA = (+/-) 5.05 ACRES
- BASIS OF BEARING: GPS OBSERVATIONS: NAD83, THIRD ORDER CLASS 1, ARKANSAS SPC NORTH ZONE
- CALCULATED POINTS BASED ON A COMBINATION OF FIELD LOCATES AND MODELING TOGETHER PLATS FROM THE SAME SECTION
- THE PROPERTIES SHOWN HEREON ARE LOCATED IN FLOOD ZONE X (OUTSIDE OF ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN), BASED ON FIRM PANEL NUMBER(S) 05007C0270K EFFECTIVE DATE: JUNE 5, 2012
- A WETLAND WITH CODE R4SBC EXISTS ON THE NORTHEAST CORNER OF THE PROPERTY, BEING A NATURAL OUTFALL RAVINE FROM A POND LOCATED ON THE PROPERTY DIRECTLY NORTH.

DESCRIPTION: PARCEL 02-01712-050

A PART OF THE SOUTHERN HALF (S $\frac{1}{2}$) OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER (SW $\frac{1}{4}$ SE $\frac{1}{4}$) OF SECTION 22 TOWNSHIP 19 NORTH RANGE 30 WEST, IN BENTON COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SOUTHEAST QUARTER OF SECTION 22; THENCE NORTH 87°07'23" WEST 52.16 FEET TO THE POINT OF BEGINNING;
THENCE CONTINUE NORTH 87°07'23" WEST 608.17 FEET TO A POINT; THENCE NORTH 02°57'14" EAST 330.06 FEET TO A POINT; THENCE SOUTH 87°06'14" EAST 604.34 FEET TO A POINT; THENCE SOUTH 02°17'20" WEST 329.88 FEET TO THE POINT OF BEGINNING, CONTAINING SOME 4.59 ACRES AND SUBJECT TO ALL RIGHT OF WAY AND ANY EASEMENT(S) OF RECORD

DESCRIPTION: PARCEL 02-02087-264

A PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW $\frac{1}{4}$ NE $\frac{1}{4}$) OF SECTION 27 TOWNSHIP 19 NORTH RANGE 30 WEST, IN BENTON COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF NORTHEAST QUARTER OF SECTION 27; THENCE NORTH 87°07'23" WEST 52.16 FEET TO THE POINT OF BEGINNING;
THENCE SOUTH 02°17'20" WEST 33.04 FEET TO A POINT; THENCE NORTH 87°05'50" WEST 608.55 FEET TO A POINT; THENCE NORTH 02°57'14" EAST 32.76 FEET TO A POINT; THENCE SOUTH 87°07'23" EAST 608.17 FEET TO THE POINT OF BEGINNING, CONTAINING SOME 0.46 ACRES AND SUBJECT TO ALL RIGHT OF WAY AND ANY EASEMENT(S) OF RECORD



NATURAL STATE
LAND & WATER
118 W NORTH DRIVE
ROGERS, AR 72756
(870)243-0207

REVISION

**TAYLOR
SUBDIVISION**
26th Street
Rogers, Arkansas

PROJECT NUMBER: 23-006

PAGE TITLE:

**BOUNDARY
SURVEY**

PAGE NUMBER:

DATE: 10-24-2023



REVISION:

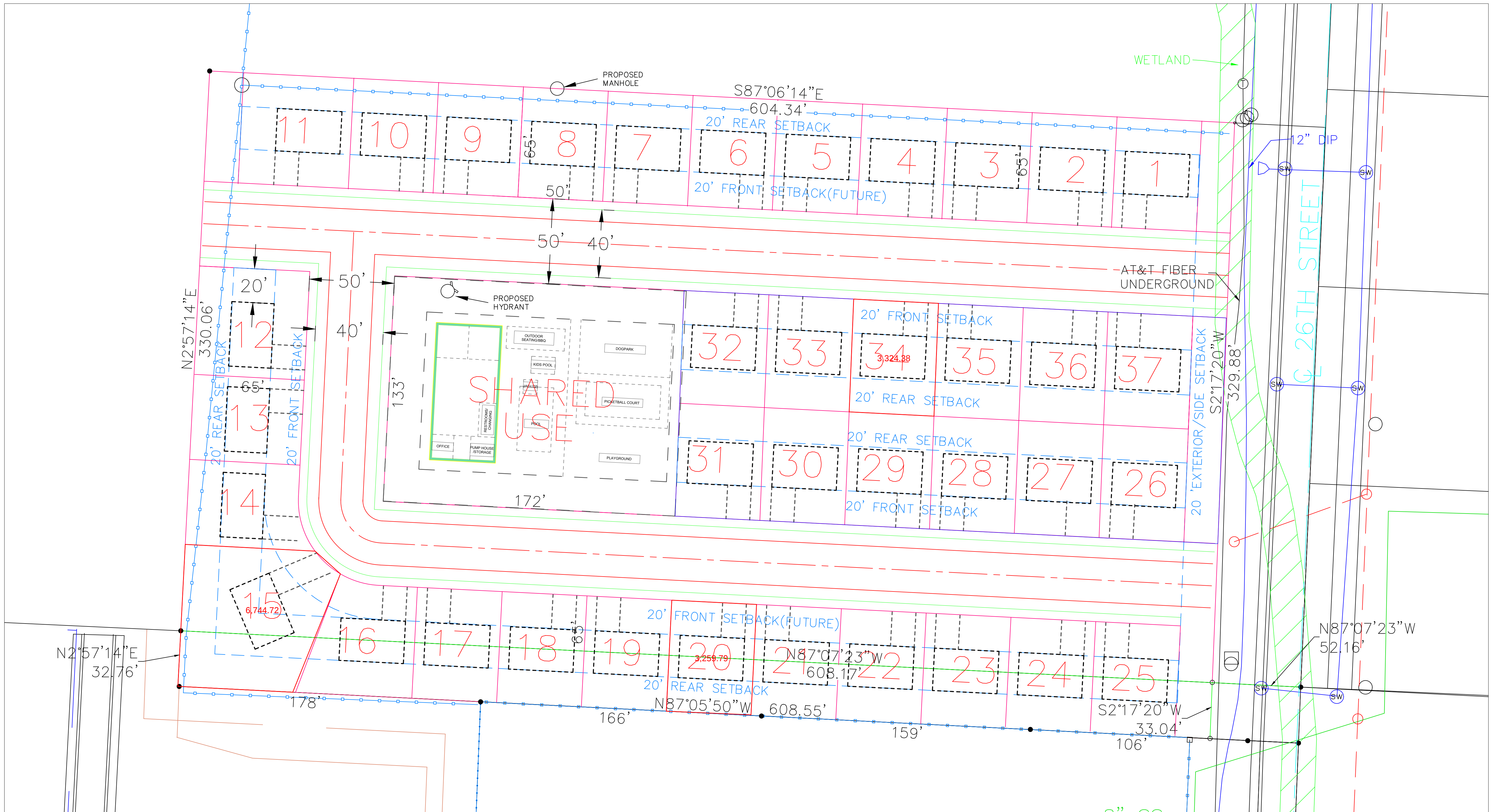
**TAYLOR
SUBDIVISION**
26th Street
Rogers, Arkansas

PROJECT NUMBER: 23-006

PAGE TITLE:

PAGE NUMBER:

DATE: 10-24-2023



SITE LAYOUT PLAN

SCALE 1" = 30'

- TOTAL NEW DEVELOPMENT AREA = (+/-) 5.05
- ALL DIMENSIONS ARE TO THE BACK OF CURB AND/OR EDGE OF PAVEMENT
- ALL SETBACKS TO MEET CITY OF ROGERS STANDARDS
- DAMAGE TO PUBLIC AND PRIVATE PROPERTY DUE TO HAULING OPERATIONS OR OPERATIONS OF CONSTRUCTION RELATED EQUIPMENT FROM A CONSTRUCTION SITE SHALL BE REPAIRED BY THE THE RESPONSIBLE PARTY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- REPAIR, REPLACE, OR EXTEND EXISTING DAMAGED OR MISSING CURB AND GUTTER, SIDEWALK OR RAMPS WITHIN THE PUBLIC RIGHT OF WAY.
- ALL SIGNAGE, PAVEMENT MARKING AND PARKING LOT STRIPING SHALL CONFORM TO REQUIREMENTS GIVEN IN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). MUTCD REQUIRES THAT PARKING SPACES BE MARKED IN WHITE.

SITE PROPERTIES

SCALE 1" = 30'

- Building setbacks:
Front- 20'
Rear- 20'
Interior side- 6'
Exterior side- 20'
- Buildings will take up a maximum of 30% of each lot.
- Total green space will be GREATER THAN 1.7 ac OR 32.2% of total space.
- Total impervious area would be approximately 2.50 ac.
- Total number of dwelling units proposed: 37
- Gross Density: 37 units / 5.05 ac = 7.33 units/ac
- Net Density: 37 units / (1.20+0.90+0.98) ac = 12.01units/ac
- Current zoning for the 4.59 ac lot - A-1
(CGM Zoning: N-R)
Proposed zoning for the 4.59 ac lot: N-R
- Current zoning for the 0.46 ac lot - A-1
(CGM Zoning: U-NBT)
Proposed zoning for the 0.46 ac lot: N-R

LEGEND

- - SET IRON PIN (5/8" REBAR WITH MCALISTER PS1303 CAP)
- - FOUND IRON PIN (TYPE)
- △ - CALCULATED POINT
- ⊗ - ELEC. METER
- ⊕ - WATER VALVE
- ⊞ - GAS METER
- ⊞ - GAS ACCESS
- ⊞ - TELEPHONE PEDESTAL/BOX
- ⊞ - UTILITY POLE
- - RIGHT-OF-WAY/PROPERTY LINE
- - SETBACK LINE
- - CENTERLINE OF ROADWAY
- - FENCE LINE
- - OVERHEAD ELECTRIC
- - UNDERGROUND WATER LINE
- - SANITARY SEWER

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D

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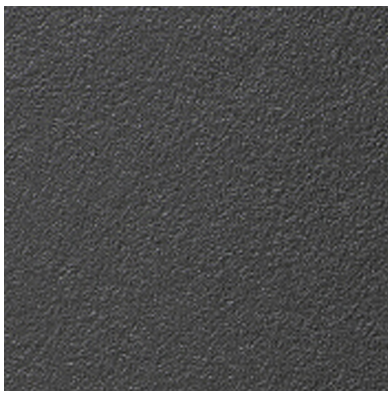
A



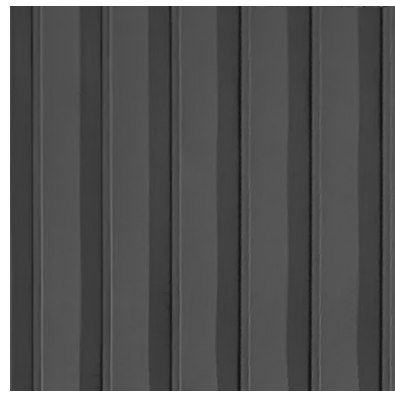
BK-1
MODULAR BRICK
STACKED SOLDIER BOND



FC-1
V-GROOVE
PLANK SIDING



FC-2
SAND TEXTURED PANEL
ORIENTATION TO LIMIT SEAMS



MT-1
SNAP-ON BATTEN
ROOF AND WALL APPLICATION



WD-1
MODIFIED WOOD SIDING
VERTICAL INSTALLATION

EXT MATERIALS SCHEDULE

NO.	MATERIAL	MANUFACTURER	MODEL	DESCRIPTION	COMMENTS
FC-1	FIBER CEMENT	JAMES HARDIE OR APPROVED EQUAL	ARTISAN V-GROOVE	PAINTED, HORIZONTAL AND VERTICAL ORIENTATION USED	
FC-2	FIBER CEMENT	JAMES HARDIE OR APPROVED EQUAL	FINE SAND	PAINTED	
BK-1	MASONRY	ACME OR APPROVED EQUAL	ALLENTOWN - VELOUR - MODULAR BRICK	DARK BRICK, STACKED SOLDIER BOND, DARK GROUT, COLOR TO BE APPROVED IN SUBMITAL	
MT-1	METAL ROOFING PANEL	PAC-CLAD OR APPROVED EQUAL	SNAP-ON BATTEN		
WD-1	MODIFIED WOOD SIDING	KEBONY OR APPROVED EQUAL	CLICK-IN-CLADING		30-YEAR WARRANTY

ROGERS TOWNHOMES

ROGERS, AR

NOT FOR
CONSTRUCTION

10/24/2023

Architect Name - RYAN FAUST

Architect Number - 4711

THE SEAL & SIGNATURE APPLY ONLY TO THE DOCUMENT TO WHICH THEY ARE AFFIXED & WE EXPRESSLY DISCLAIM ANY RESPONSIBILITY FOR ALL OTHER PLANS, SPECIFICATIONS, ESTIMATES, REPORTS OR OTHER DOCUMENTS OR INSTRUMENTS RELATING TO OR INTENDED TO BE USED FOR ANY PART OR PARTS OF THE PROJECT.

REVISIONS

NO.	DATE	DESCRIPTION
-----	------	-------------

Drawing Size:

24 x 36

Project #:

23116

Drawn By:

JMA

Checked By:

TB

Title:

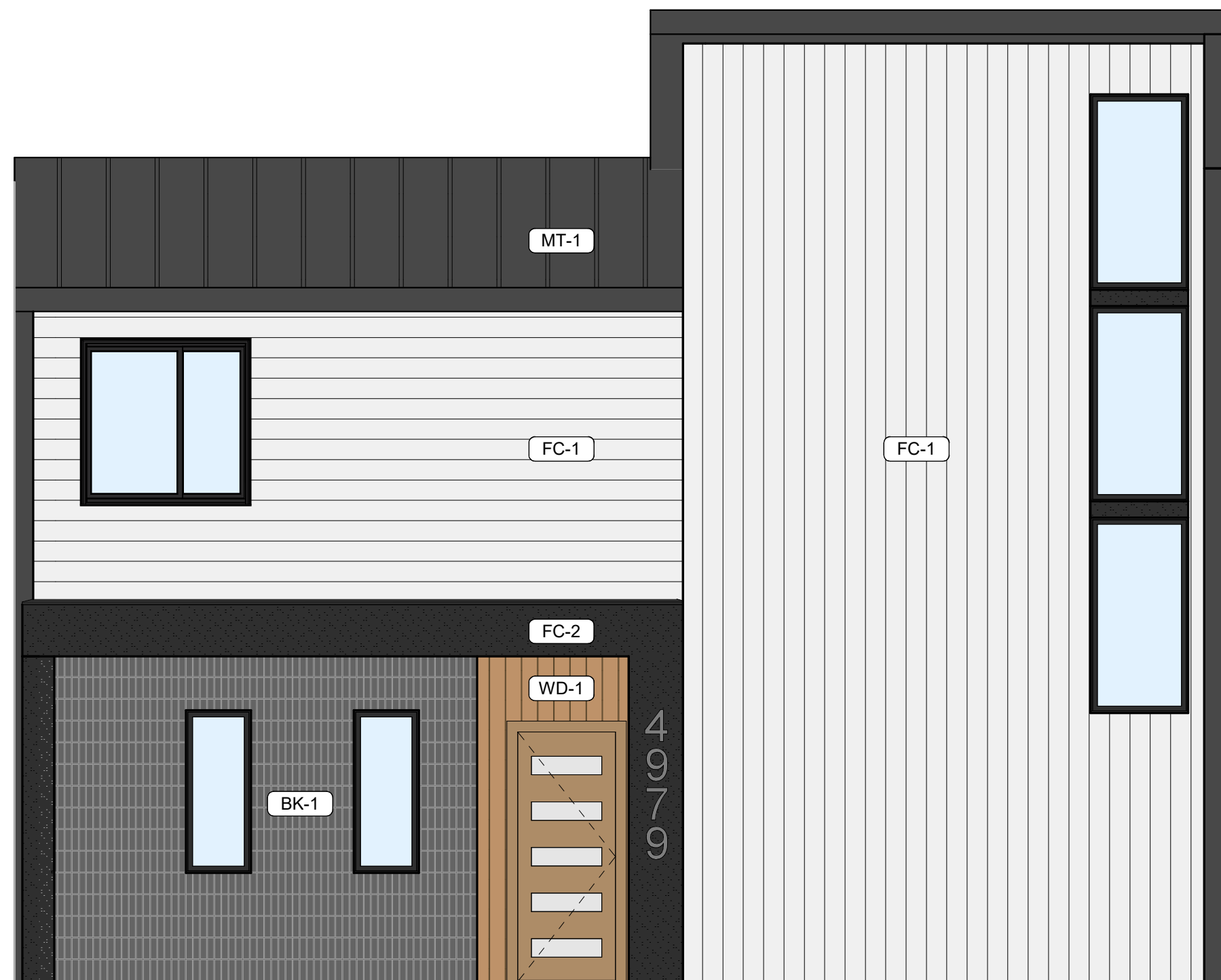
COLORS ELEVATIONS

Sheet Number:

R0.00

Date: 10/24/2023

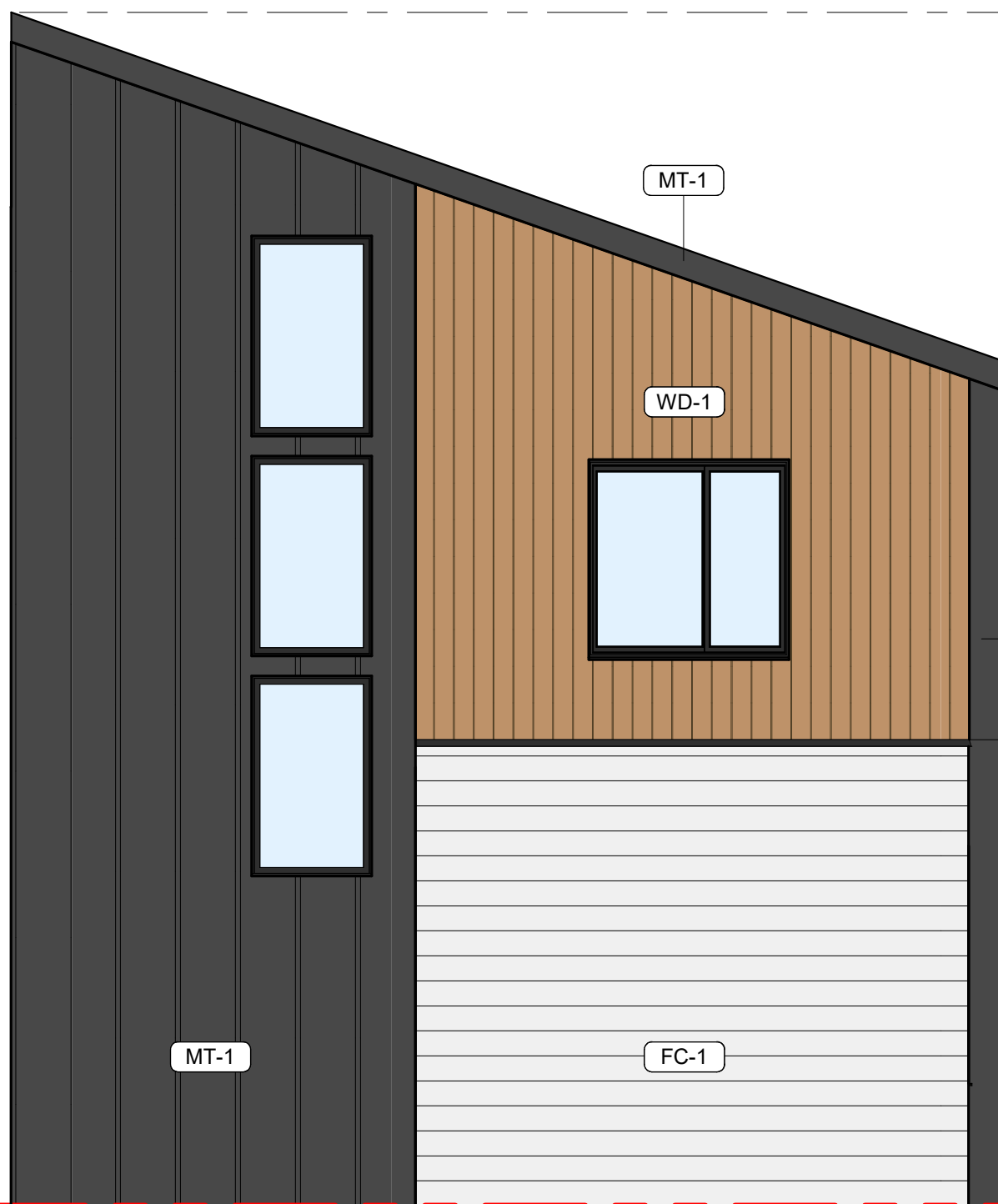
04
R0.00
TOWNHOUSES - EXTERIOR ELEVATION NORTH
1/4" = 1'-0"



ROOF PEAK (HIGH)	29'-10 1/8"
ROOF PEAK (LOW)	25'-3 3/4"
ROOF BEARING (LOW)	20'-9"
SECOND FLOOR	11'-7 7/8"
TOTAL AREA:	1020 SF
WINDOWS/OPENINGS:	133 SF
ADJUSTED TOTAL:	887 SF
PRIMARY MATERIALS:	
FIBER CEMENT:	615 SF(69%)
BRICK:	110 SF(12%)
WOOD SIDING:	17 SF(2%)
METAL:	145 SF(17%)

GROUND FLOOR
0"

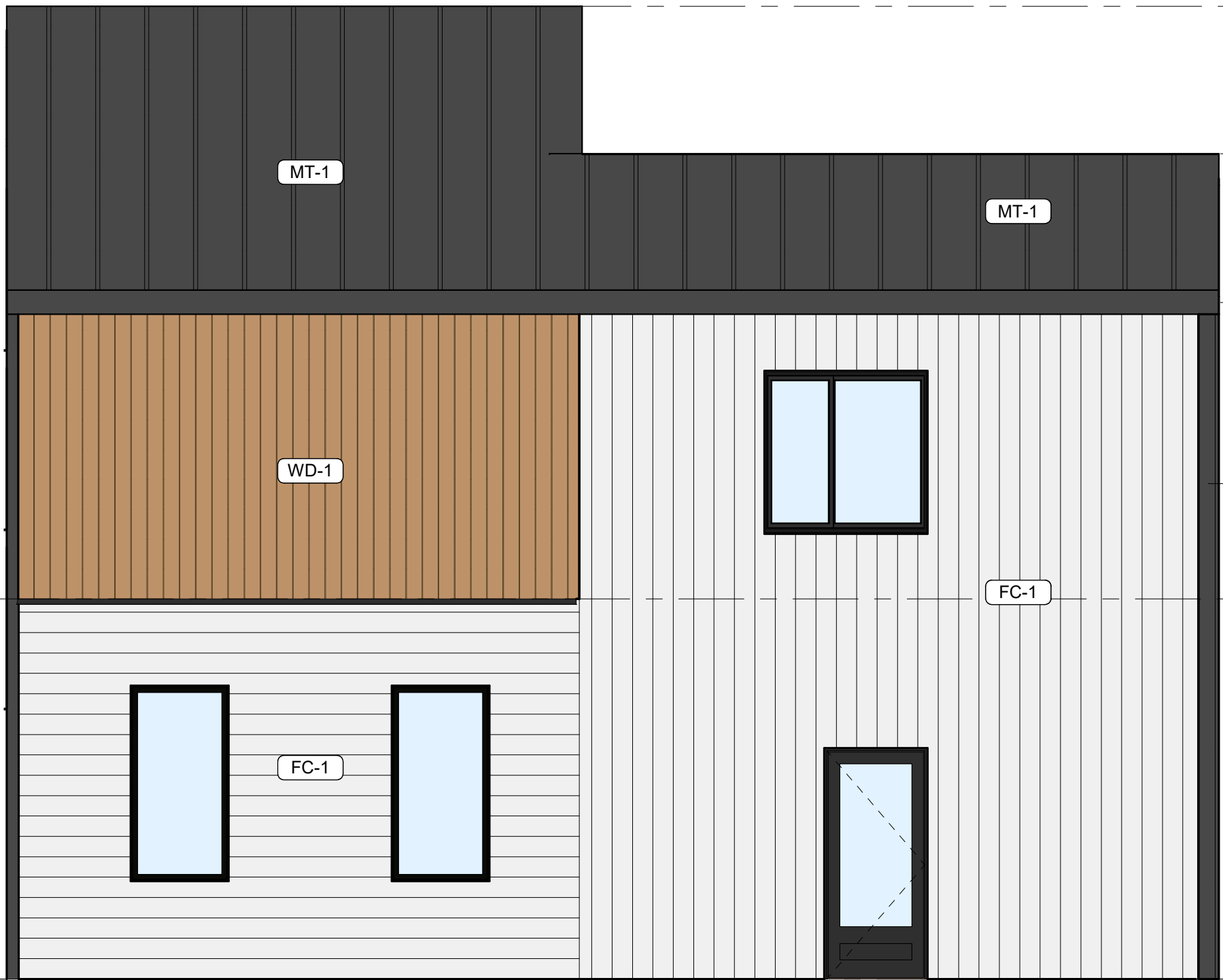
03
R0.00
TOWNHOUSES - EXTERIOR ELEVATION EAST
1/4" = 1'-0"



ROOF PEAK (HIGH)	29'-10 1/8"
ROOF BEARING (LOW)	20'-9"
SECOND FLOOR	11'-7 7/8"
TOTAL AREA:	632 SF
WINDOWS/OPENINGS:	70 SF
ADJUSTED TOTAL:	562 SF
PRIMARY MATERIALS:	
FIBER CEMENT:	160 SF(29%)
WOOD SIDING:	133 SF(24%)
METAL:	269 SF(47%)

GROUND FLOOR
0"

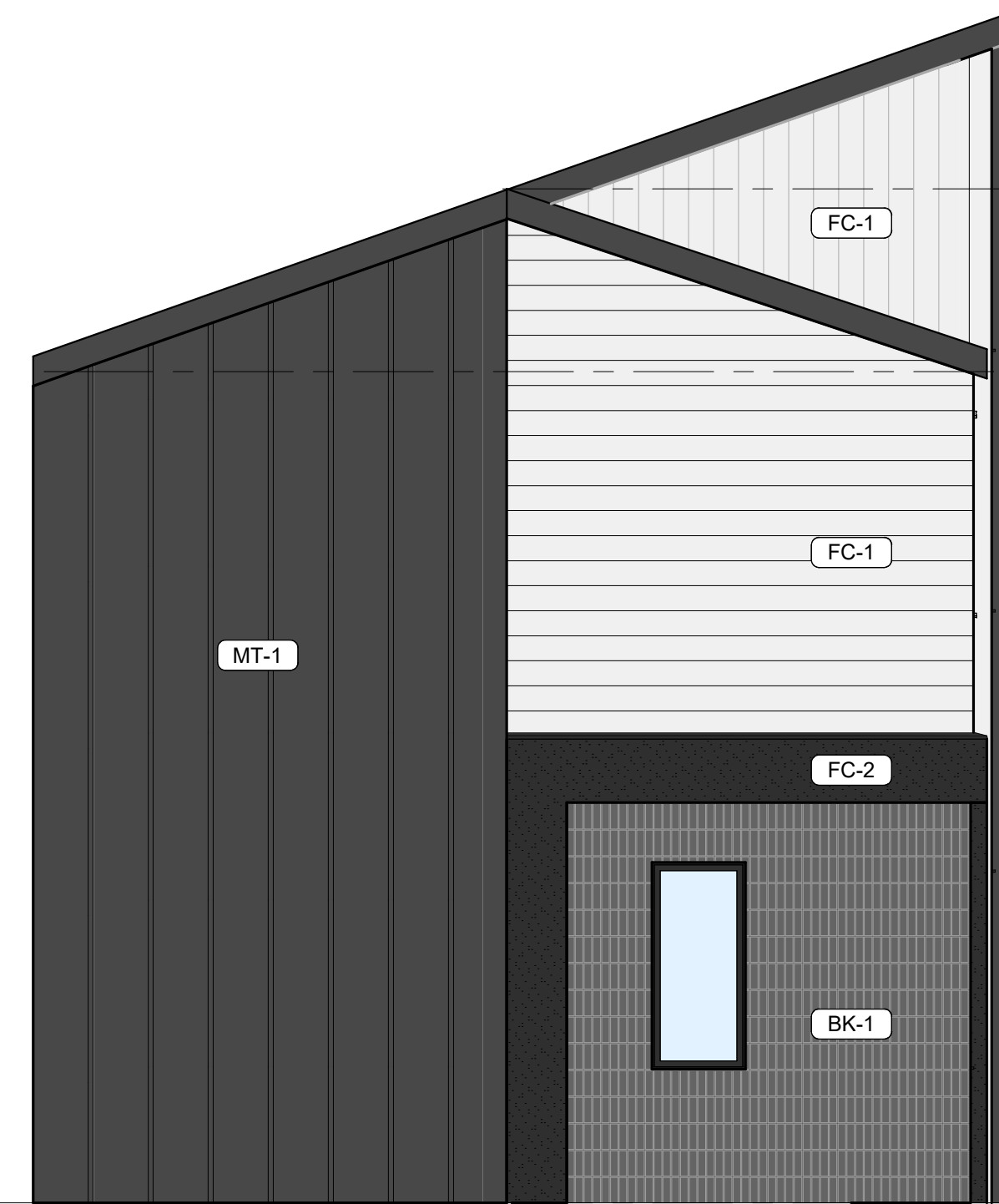
02
R0.00
TOWNHOUSES - EXTERIOR ELEVATION SOUTH
1/4" = 1'-0"



ROOF PEAK (HIGH)	29'-10 1/8"
ROOF PEAK (LOW)	25'-3 3/4"
ROOF BEARING (LOW)	20'-9"
SECOND FLOOR	11'-7 7/8"
TOTAL AREA:	1023 SF
WINDOWS/OPENINGS:	83 SF
ADJUSTED TOTAL:	940 SF
PRIMARY MATERIALS:	
FIBER CEMENT:	505 SF(54%)
WOOD SIDING:	150 SF(16%)
METAL:	285 SF(30%)

GROUND FLOOR
0"

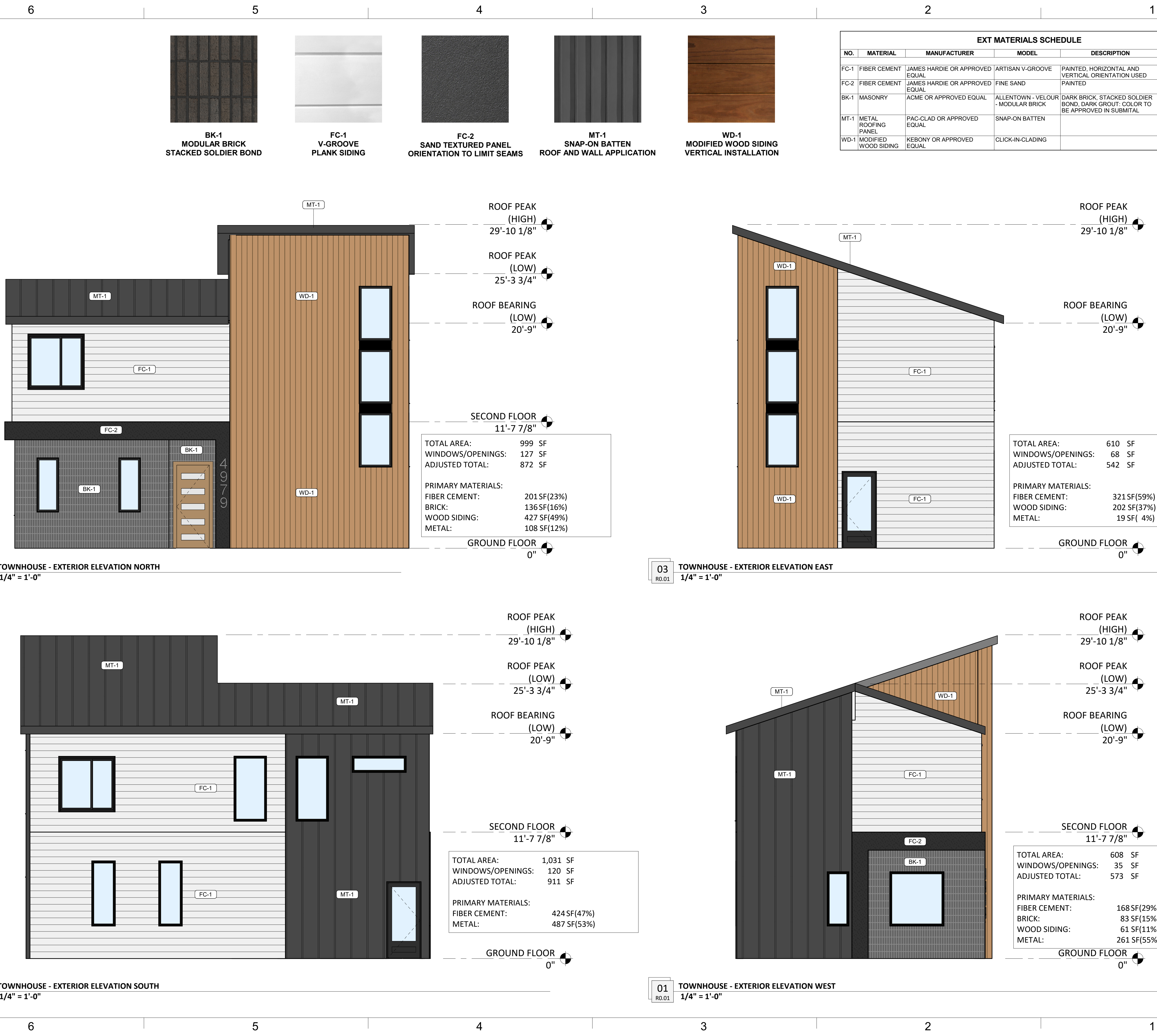
01
R0.00
TOWNHOUSES - EXTERIOR ELEVATION WEST
1/4" = 1'-0"



ROOF PEAK (HIGH)	29'-10 1/8"
ROOF PEAK (LOW)	25'-3 3/4"
ROOF BEARING (LOW)	20'-9"
SECOND FLOOR	11'-7 7/8"
TOTAL AREA:	628 SF
WINDOWS/OPENINGS:	13 SF
ADJUSTED TOTAL:	615 SF
PRIMARY MATERIALS:	
FIBER CEMENT:	209 SF(34%)
BRICK:	89 SF(15%)
METAL:	317 SF(51%)

GROUND FLOOR
0"

C:\Users\navarrelea\Documents\23116_Rogers\Townhomes_Rogers_AR_R21_navarrelea.rvt



C:\Users\navarrelea\Documents\23116_Rogers\Townhomes_Rogers_AR_R21_navarrelea.rvt

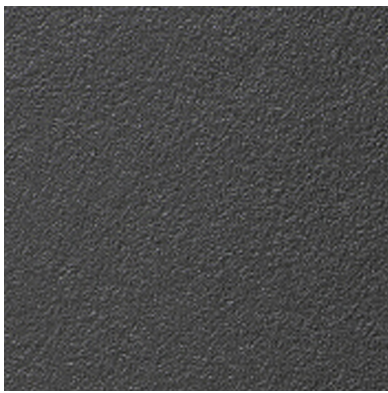
E
D
C
B
A



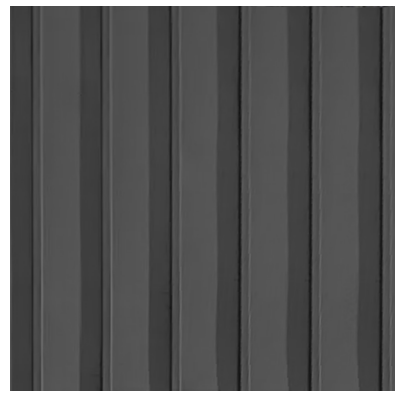
BK-1
MODULAR BRICK
STACKED SOLDIER BOND



FC-1
V-GROOVE
PLANK SIDING



FC-2
SAND TEXTURED PANEL
ORIENTATION TO LIMIT SEAMS



MT-1
SNAP-ON BATTEN
ROOF AND WALL APPLICATION



WD-1
MODIFIED WOOD SIDING
VERTICAL INSTALLATION

EXT MATERIALS SCHEDULE					
NO.	MATERIAL	MANUFACTURER	MODEL	DESCRIPTION	COMMENTS
FC-1	FIBER CEMENT	JAMES HARDIE OR APPROVED EQUAL	ARTISAN V-GROOVE	PAINTED, HORIZONTAL AND VERTICAL ORIENTATION USED	
FC-2	FIBER CEMENT	JAMES HARDIE OR APPROVED EQUAL	FINE SAND	PAINTED	
BK-1	MASONRY	ACME OR APPROVED EQUAL	ALLETOWN - VELOUR - MODULAR BRICK	DARK BRICK, STACKED SOLDIER BOND, DARK GROUT, COLOR TO BE APPROVED IN SUBMITAL	
MT-1	METAL ROOFING PANEL	PAC-CLAD OR APPROVED EQUAL	SNAP-ON BATTEN		
WD-1	MODIFIED WOOD SIDING	KEBONY OR APPROVED EQUAL	CLICK-IN-CLADING		30-YEAR WARRANTY

TOTAL AREA: 1,441 SF
WINDOWS/OPENINGS: 183 SF
ADJUSTED TOTAL: 1,258 SF

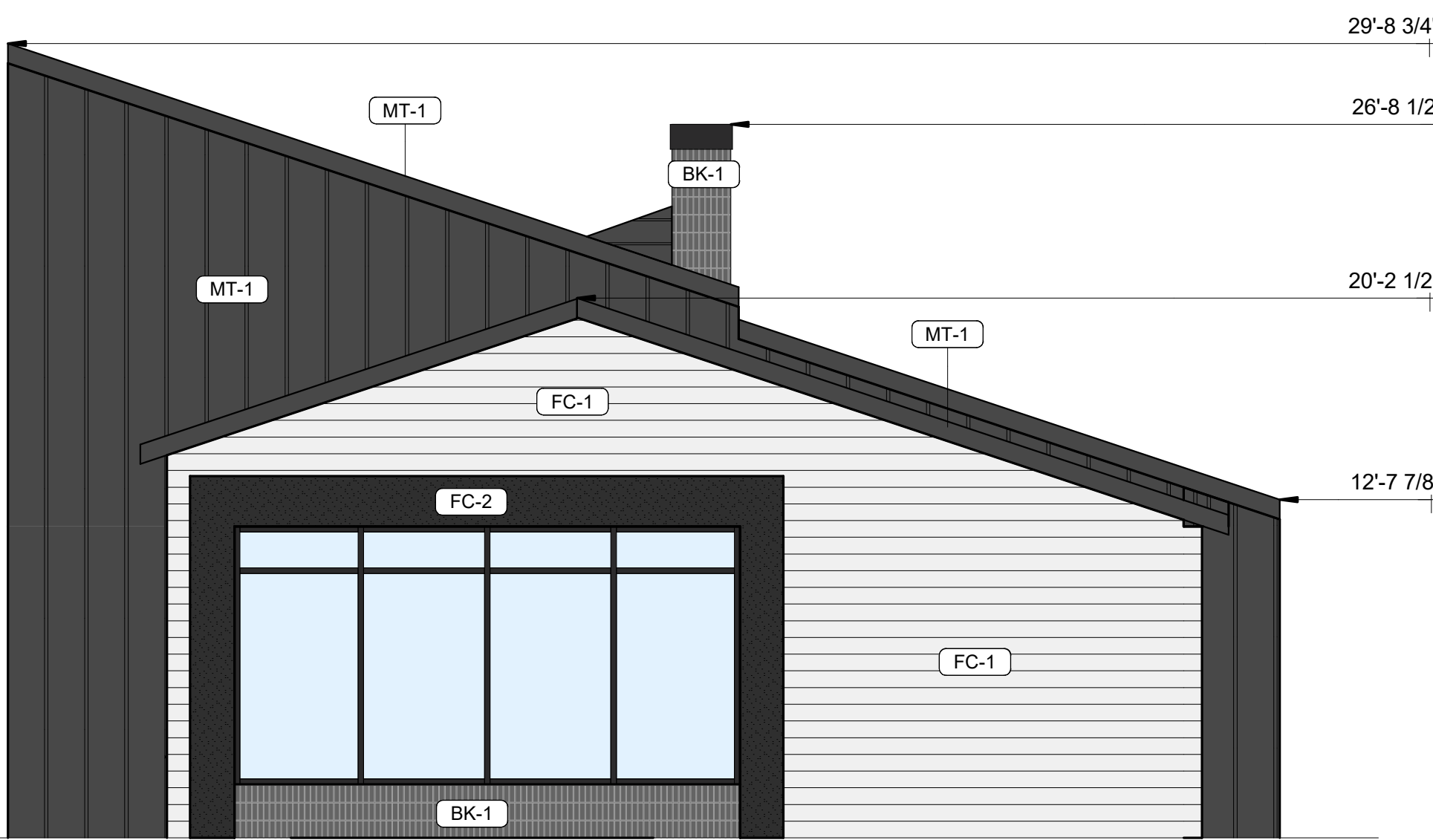
PRIMARY MATERIALS:
FIBER CEMENT: 403 SF (32%)
WOOD SIDING: 412 SF (33%)
METAL: 394 SF (31%)
BRICK: 49 SF (4%)

TOTAL AREA: 1,816 SF
WINDOWS/OPENINGS: 178 SF
ADJUSTED TOTAL: 1,638 SF

PRIMARY MATERIALS:
FIBER CEMENT: 736 SF (45%)
WOOD SIDING: 412 SF (25%)
METAL: 490 SF (30%)



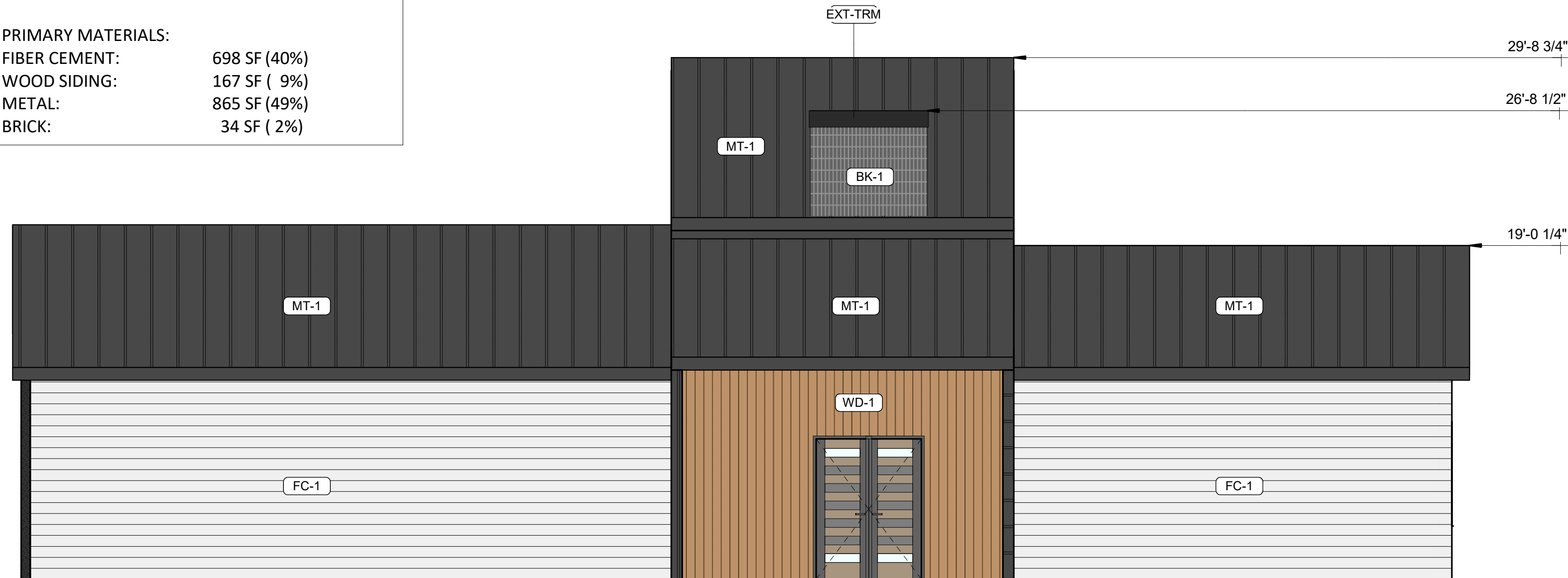
4
R0.02
CLUB HOUSE - FRONT ELEVATION
3/16" = 1'-0"



3
R0.02
CLUB HOUSE - RIGHT ELEVATION
3/16" = 1'-0"

TOTAL AREA: 1,816 SF
WINDOWS/OPENINGS: 52 SF
ADJUSTED TOTAL: 1,764 SF

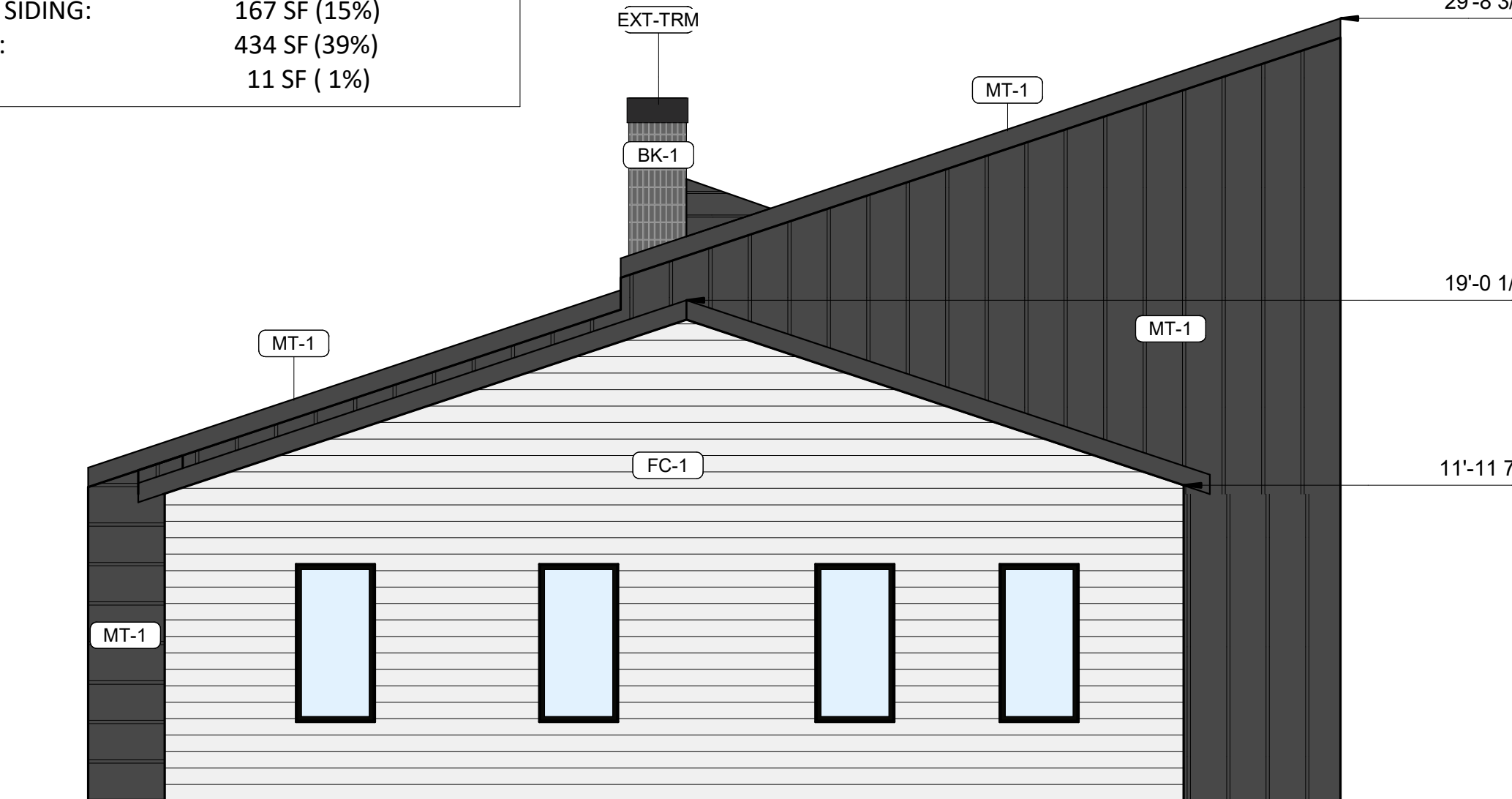
PRIMARY MATERIALS:
FIBER CEMENT: 698 SF (40%)
WOOD SIDING: 167 SF (9%)
METAL: 865 SF (49%)
BRICK: 34 SF (2%)



2
R0.02
CLUB HOUSE - REAR ELEVATION
3/16" = 1'-0"

TOTAL AREA: 1,195 SF
WINDOWS/OPENINGS: 72 SF
ADJUSTED TOTAL: 1,123 SF

PRIMARY MATERIALS:
FIBER CEMENT: 511 SF (45%)
WOOD SIDING: 167 SF (15%)
METAL: 434 SF (39%)
BRICK: 11 SF (1%)



1
R0.02
CLUB HOUSE - LEFT ELEVATION
3/16" = 1'-0"

BEFORE THE PLANNING COMMISSION OF THE CITY OF ROGERS, AR

NOTICE OF PUBLIC HEARING FOR REZONE REQUEST

Notice is hereby given in pursuant to Section 14-725-730 of the Rogers code that Jessi Taylor is applying to the Rogers Planning Commission to rezone real estate property at approximately 2460 S. 26th Street. The property is more particularly Described as:

DESCRIPTION: PARCEL 02-02087-264

A PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW1/4 NE1/4) OF SECTION 27 TOWNSHIP 19 NORTH RANGE 30 WEST, IN BENTON COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF NORTHEAST QUARTER OF SECTION 27; THENCE NORTH 87°07'23" WEST 52.16 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 02°17'20" WEST 33.04 FEET TO A POINT; THENCE NORTH 87°05'50" WEST 608.55 FEET TO A POINT; THENCE NORTH 02°57'14" EAST 32.76 FEET TO A POINT; THENCE SOUTH 87°07'23" EAST 608.17 FEET TO THE POINT OF BEGINNING, CONTAINING SOME 0.46 ACRES AND SUBJECT TO ALL RIGHT OF WAY AND ANY EASEMENT(S) OF RECORD

DESCRIPTION: PARCEL 02-01712-050

A PART OF THE SOUTHERN HALF (S1/2) OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER (SW1/4 SE1/4) OF SECTION 22 TOWNSHIP 19 NORTH RANGE 30 WEST, IN BENTON COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SOUTHEAST QUARTER OF SECTION 22; THENCE NORTH 87°07'23" WEST 52.16 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUE NORTH 87°07'23" WEST 608.17 FEET TO A POINT; THENCE NORTH 02°57'14" EAST 330.06 FEET TO A POINT; THENCE SOUTH 87°06'14" EAST 604.34 FEET TO A POINT; THENCE SOUTH 02°17'20" WEST 329.88 FEET TO THE POINT OF BEGINNING, CONTAINING SOME 4.59 ACRES AND SUBJECT TO ALL RIGHT OF WAY AND ANY EASEMENT(S) OF RECORD

Present Zoning: A-1

Proposed Zoning: N-R

A public hearing by the Rogers Planning Commission will be held on:

In the City Council Chambers of the City Hall Building located at 301 W. Chestnut, Rogers, Arkansas.

Respectfully Submitted,

Taylor E. McBride

PROPERTY OWNER AFFIDAVIT

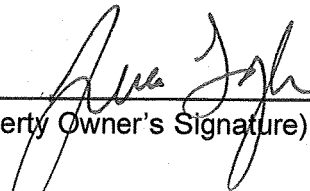
The petitioner, Jesse Taylor, petitions the Planning Commission of the City of Rogers to rezone certain real property as set forth herein:

Legal Property Descriptions on proceeding, attached page.

Present Zoning: A-1

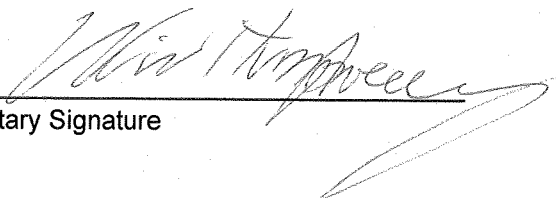
Proposed Zoning: N-R

Respectfully Submitted,


(Property Owner's Signature)

STATE OF ARKANSAS
COUNTY OF Benton

Subscribed and sworn before me on this 31st day of October, 2023


Notary Signature

Will Humphrey
Notary Name Printed

06/07/2033
My Commission Expires



Legal Descriptions:

DESCRIPTION: PARCEL 02-02087-264

A PART OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW1/4 NE1/4) OF SECTION 27 TOWNSHIP 19 NORTH RANGE 30 WEST, IN BENTON COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID NORTHWEST QUARTER OF NORTHEAST QUARTER OF SECTION 27; THENCE NORTH 87°07'23" WEST 52.16 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 02°17'20" WEST 33.04 FEET TO A POINT; THENCE NORTH 87°05'50" WEST 608.55 FEET TO A POINT; THENCE NORTH 02°57'14" EAST 32.76 FEET TO A POINT; THENCE SOUTH 87°07'23" EAST 608.17 FEET TO THE POINT OF BEGINNING, CONTAINING SOME 0.46 ACRES AND SUBJECT TO ALL RIGHT OF WAY AND ANY EASEMENT(S) OF RECORD

DESCRIPTION: PARCEL 02-01712-050

A PART OF THE SOUTHERN HALF (S1/2) OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER (SW1/4 SE1/4) OF SECTION 22 TOWNSHIP 19 NORTH RANGE 30 WEST, IN BENTON COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF SOUTHEAST QUARTER OF SECTION 22; THENCE NORTH 87°07'23" WEST 52.16 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUE NORTH 87°07'23" WEST 608.17 FEET TO A POINT; THENCE NORTH 02°57'14" EAST 330.06 FEET TO A POINT; THENCE SOUTH 87°06'14" EAST 604.34 FEET TO A POINT; THENCE SOUTH 02°17'20" WEST 329.88 FEET TO THE POINT OF BEGINNING, CONTAINING SOME 4.59 ACRES AND SUBJECT TO ALL RIGHT OF WAY AND ANY EASEMENT(S) OF RECORD



DEPT. OF COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
PHONE: (479) 621-1186
FAX: (479) 986-6896

NOTICE OF PUBLIC HEARING

Notice is hereby given that a public hearing will be held before the Rogers Planning Commission in the Rogers City Hall at 301 West Chestnut Street on **January 16, 2024** at **5:30 p.m.** on the application by **Taylor Subdivision** to rezone **2460 S. 26th Street and 0.46 acres directly to the south** from the **A-1** (Agricultural) zoning district to the **N-R** (Neighborhood Residential) zoning district with a Density Concept Plan, the property being more particularly described as follows:

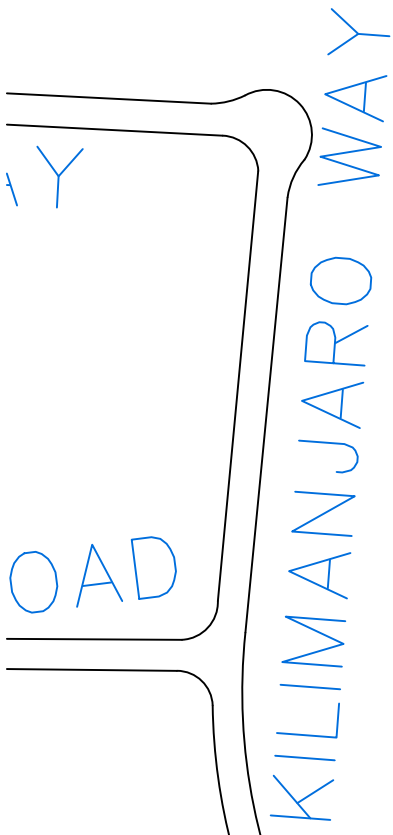
PROPERTY DESCRIPTION:

2460 S. 26th Street and 0.46 acres directly to the south

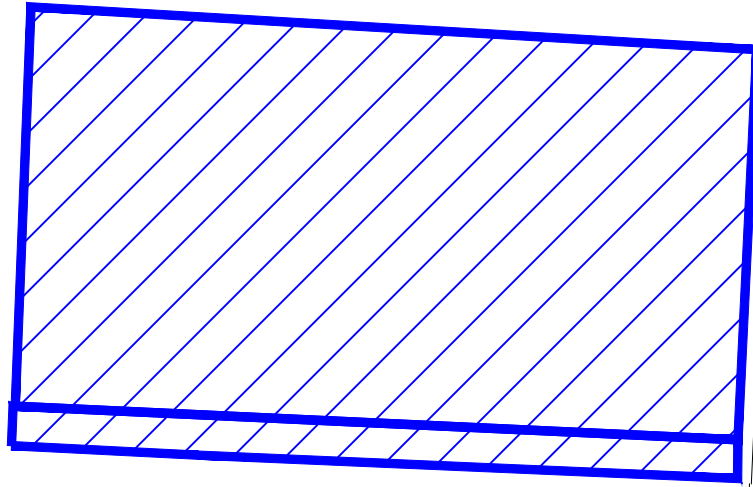
Parcel Number: 02-01712-050 & 02-02087-264

Samantha Best, Secretary
Planning Commission

PUBLISH ONE TIME ONLY: **Sunday December 31, 2023**
BILL THE CITY OF ROGERS



Legal Description Confirmation



SOUTH 26th STREET