



COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
planning@rogersar.gov
(479) 621-1186

ROGERS PLANNING COMMISSION AGENDA

Date:	March 16, 2021
Location:	Virtual (Zoom)
Committee Sessions:	4:30 PM
Regular Session:	5:00 PM

MEETING INSTRUCTIONS

- To attend via computer:
[CLICK THIS LINK](#) and enter Webinar Password [699781](#).
- To attend via phone:
Call [1-312-626-6799](#) and enter Webinar ID [881 2834 9173](#) when prompted.
- Each meeting will take place in the same Zoom room. The Regular Session will begin once the last Committee meeting ends.
- Members of the public wishing to provide input are strongly encouraged to do so in writing. Please email your statement, questions, or concerns to the Planning Commission at planningcommission@rogersar.gov before 5:00 PM Tuesday.

VIRTUAL PARTICIPATION

- Planning Commissioners and Staff are the only visible attendees. All attendees are automatically muted and invisible to others upon entry. Staff will enable/disable talk for each speaker.
- If representing an agenda item or speaking in a public hearing:
 - Click **RAISE HAND** when prompted by the chairman. Staff will enable speaking for your presentation and disable speaking when done.
 - **Dial *9** to **RAISE HAND** if attending meeting by phone.
- Proof of public notice (**green Return Receipt cards**) for public hearing items must be **emailed or delivered** to Planning Staff by **5:00 PM Tuesday**. There is a dropbox outside City Hall for deliveries.

COMMITTEE SESSIONS – 4:30 PM

PLANS & POLICIES COMMITTEE

DEVELOPMENT REVIEW COMMITTEE

1. LSDP: Kum & Go #2420
2. SPLIT: Huffman & Co.

REGULAR SESSION – 5:00 PM

CALL TO ORDER

ROLL CALL

ACTION ON MINUTES

1. March 2, 2021

REPORTS FROM STAFF

REPORTS FROM BOARDS AND COMMITTEES

1. Plans & Policies Committee
2. Development Review Committee

CONSENT AGENDA

OLD BUSINESS

PUBLIC HEARINGS

1. RZN: Express Oil
A request to rezone 3.38 ± acres located NW of the intersection of W. New Hope Rd. and Promenade Blvd. from the RMF-6B (Residential Multi-family) zoning district to the C-2 (Highway Commercial) zoning district.
 - STAFF: Amber Long
 - REPRESENTED BY: Daniel Ellis
2. RZN: Jones
A request to rezone 0.62 ± acres located at S. 7th St. & Oak St. from the R-O and RO-CU (Residential Office, and Residential Office-Condominium Unit) zoning districts to the NBT (Neighborhood Transition) zoning district.
 - STAFF: Amber Long
 - REPRESENTED BY: Quiontayus Jones

NEW BUSINESS

1. **LSDP: Kum & Go #2420**

A request to allow the construction of a 5,620-SF convenience store consisting of a canopy with 6 fueling stations, paved parking lot, and detention pond on 2.398± acres at 5120 W. Pleasant Grove Rd. in the C-3 (Neighborhood Commercial) zoning district.

– *STAFF: Amber Long*

– *REPRESENTED BY: Michael Clotfelter*

2. **SPLIT: Huffman & Co.**

A request to approve a lot split resulting in 32 lots on 1.03 acres located within the West Village PUD at the NE corner of S. Champions Drive and W. Pauline Whitaker Pkwy.

– *STAFF: Amber Long*

– *REPRESENTED BY: Daniel Ellis*

ADJOURN



COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
planning@rogersar.gov
(479) 621-1186

MEETING DATE
March 16, 2021

TO: PLANNING COMMISSION

RE: **STAFF SUMMARY REPORT**
REZONE – EXPRESS OIL

STAFF: AMBER LONG, PLANNER I

REQUEST DETAILS

ADDRESS/LOCATION:	NW of the intersection of W. New Hope Rd. and Promenade Blvd.
TOTAL AREA TO BE REZONED:	3.38 ± acres
CURRENT ZONING:	RMF-6B (Residential Multifamily)
PROPOSED ZONING:	C-2 (Highway Commercial)
APPLICANT/REPRESENTATIVE:	Daniel Ellis, Crafton Tull / Hunt Schwyhart Graham II, LLC.
PROJECT OWNER/DEVELOPER:	N/A
PROPERTY OWNER:	Hunt Schwyhart Graham II, LLC.
NATURE OF REQUEST:	Approval of Rezone
AUTHORITY:	Sec. 14-727, Rogers Code of Ordinances

SUMMARY

This request is consistent with the Comprehensive Growth Map. C-2 is an allowed zoning district within the Commerce Corridor Growth Designation. See STAFF REVIEW for additional findings.

Community Development recommends **approval** of this request.

STAFF REVIEW

1. COMPREHENSIVE GROWTH MAP:

- a) Growth Designation:
Commerce Corridor.
- b) Growth Designation Character:
Interstate-adjacent areas intended for development that maximizes land use efficiency through vertical form, shared or hidden parking, horizontal or vertical mixed-use, and judicious use of open space. Development should provide walkability and access to multimodal transportation network. Goals include encouraging compact urban-style design, while discouraging suburban forms such as apartment complexes (CGM Page 1).
- c) Base Density:
Determined by DCP.
- d) Max Density:
Determined by DCP.
- e) Allowed Zoning Districts:
R-MF, U-NBT, R-O, C-2, C-4.

2. ZONING:

- a) C-2 (Highway Commercial):
The purpose and intent of the C-2 zoning district is “for commercial uses, which depend upon high visibility, generate high traffic volumes or cater to the traveling public. These characteristics dictate that this district be located along or at the intersections of arterial classification streets or along frontage roads adjacent to the interstate or other limited-access streets,” (Sec. 14-709(a)).
- b) General Findings:
The subject location, zoned RMF-6B, is 3.38 acres of a larger, currently undeveloped lot. The remaining portion of the lot is zoned C-2. The property is surrounded by R-O, C-2, and C2-CU zoning districts within the Commerce Corridor Growth Designation; and it is located at the intersection of two major arterial streets, S. Promenade Blvd. and W. New Hope Rd. Staff finds this to be an appropriate request due to consistency with the CGM and current neighborhood characteristics.

3. RECOMMENDATIONS:

- a) Approve request.

DIRECTOR'S COMMENTS

- 1. Agree with recommendations.



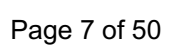
JOHN C. MCCURDY, Director
Community Development

SUGGESTED MOTIONS

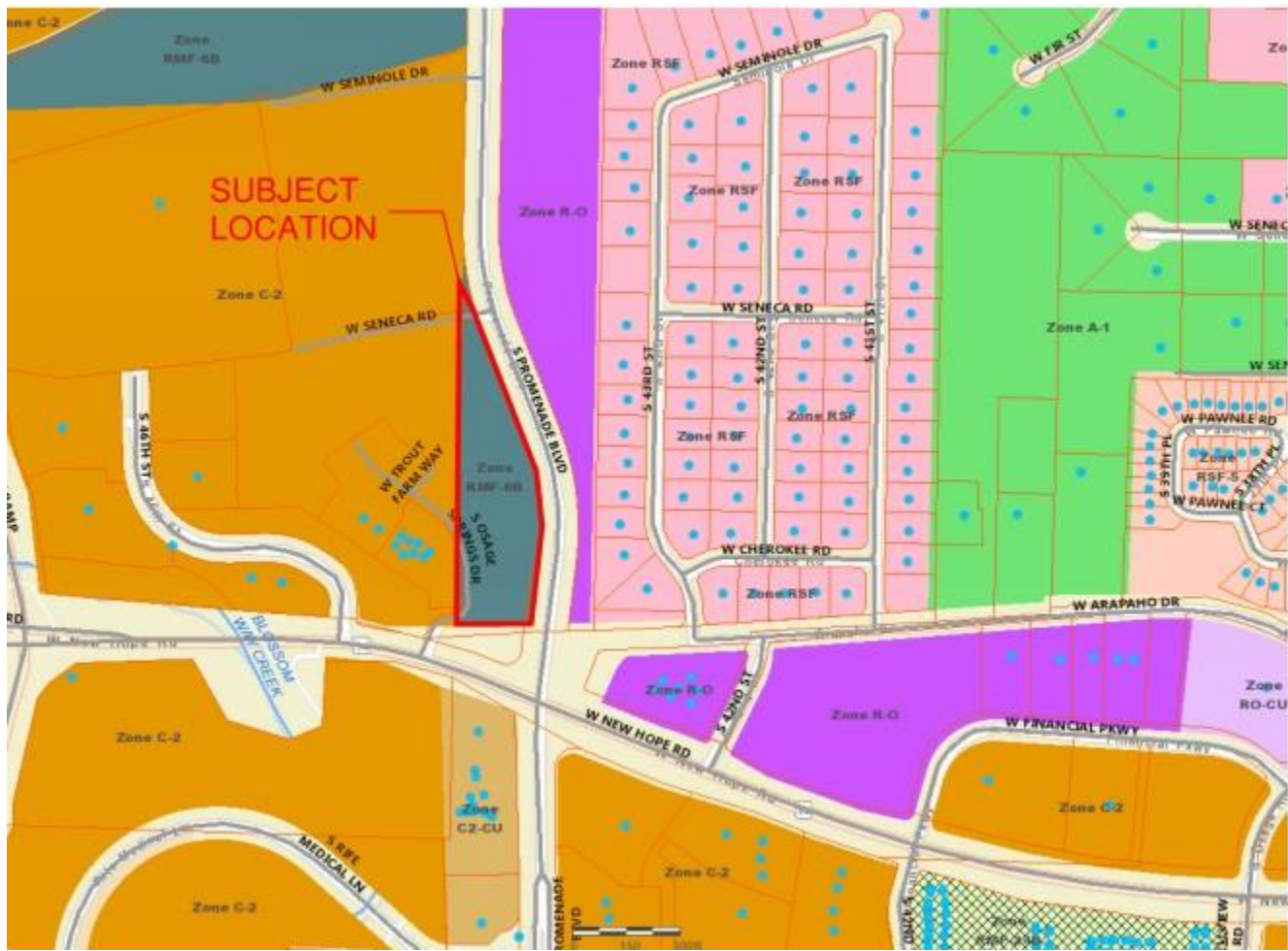
1. *IF APPROVING AS PRESENTED:*
Move to recommend City Council approval as presented.
2. *IF APPROVING SUBJECT TO OTHER ACTIONS:*
Move to recommend City Council approval subject to [conditions or contingencies].
3. *IF DENYING:*
Move to deny the request.
4. *IF TABLING:*
Move to table the request.

TABS

1. Vicinity maps (aerial, CGM, zoning)
2. Rezone application with required supplements

AERIAL VICINITY MAP

ZONING VICINITY MAP





DEPT. OF COMMUNITY DEVELOPMENT
PLANNING DIVISION
CITY OF ROGERS, ARKANSAS
301 W. CHESTNUT
PHONE: (479) 621-1186
FAX: (479) 986-6896

OFFICE USE ONLY

Permit Fee: _____ (\$200)

Zoning: _____ to _____

Permit Number: _____

CityView Application: _____

Date: _____

REZONE APPLICATION

APPLICANT: Hunt Schwyhart Graham II, LLC

ADDRESS: 5100 JB Hunt Dr Ste 1000, Rogers, AR 72758 SUITE #: _____

GENERAL LOCATION OF PROPERTY: NW Corner of New Hope & Promenade Blvd

PHONE #: 479-845-3500 EMAIL: tallen@huntventures.net

PROPERTY OWNER: Hunt Schwyhart Graham II, LLC PHONE #: _____

PRESENT USE: Undeveloped ZONING: RMF 6B

PROPOSED USE: Vehicle Service Station ZONING: C-2

JT Hunt by Kir/Anita
Applicant Signature

2/18/2021
Date

Attachment Checklist:

- ☐ Legal description of property
- ☐ Applicant Certification
- ☐ Property Owner Affidavit
- ☐ Site plan as needed

PLANNING STAFF PROVIDES:

DATE FILED: _____ PUBLIC HEARING DATE: _____ CERTIFIED MAIL DATE: _____

PLANNING COMMISSION ACTION: _____ DATE: _____

CITY COUNCIL ACTION: _____ DATE: _____

ORDINANCE NUMBER: _____ COMMENTS: _____

PROPERTY OWNER AFFIDAVIT

The petitioner, Hunt Schwyhart Graham II, LLC, petitions the Planning Commission of the City of Rogers, Arkansas to rezone certain real property as set forth herein:

LEGAL DESCRIPTION: See Attached

LAYMAN'S DESCRIPTION: NW Corner New Hope & Promenade Ave

PRESENT ZONING: RMF-6B

ZONING REQUEST: C-2

Respectfully Submitted,

By: Jehnell Hunt by Ker Sherman
(Property Owner Signature)
Mr. Hunt

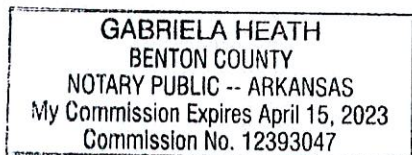
STATE OF ARKANSAS
COUNTY OF Benton

Subscribed and sworn before me this the 18 day of February, 2021.

Gabriela Heath
Notary Signature

Gabriela Heath
Notary Name Printed

April 15, 2023
Commission Expires



CERTIFICATION

I hereby state that to the best of my knowledge all property owners within 300 feet of my property have been notified by Certified mail at least 15 days prior to the upcoming public hearing for my rezone request.

Dated this the 3 day of March, 2021.

Herri Pingel
Signed

Herri Pingel
Name Printed

STATE OF ARKANSAS

COUNTY OF Benton

Subscribed and sworn before me this the 3 day of March, 2021.



Patricia Ann Henry
Notary Signature

Patricia Ann Henry
Notary Name Printed

7/21/30
Commission Expires

PART OF LOT 12A OF PINNACLE SPRINGS, AS PER PLAT RECORD 2014-171 IN THE OFFICE OF THE CIRCUIT CLERK AND EX-OFFICIO RECORDER OF BENTON COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE NORTHEAST CORNER OF LOT 12A OF SAID PINNACLE SPRINGS, SAID POINT BEING ON THE WESTERLY RIGHT-OF-WAY OF SOUTH PROMENADE BOULEVARD;
THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING FIVE COURSES:
THENCE 73.79 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 766.20 FEET AND A LONG CHORD OF S17°34'48"E 73.77 FEET;
THENCE S20°20'21"E 327.22 FEET;
THENCE 277.10 FEET ALONG A CURVE TO THE RIGHT WITH A RADIUS OF 650.00 FEET AND A LONG CHORD OF S08°07'35"E 275.00 FEET;
THENCE S14°53'37"W 144.08 FEET;
THENCE S08°28'59"W 121.13 FEET;
THENCE LEAVING SAID WESTERLY RIGHT-OF-WAY S89°24'58"W 115.33 FEET;
THENCE N88°13'14"W 71.21 FEET;
THENCE N02°36'20"E 57.16 FEET TO THE WESTERLY LINE OF SAID LOT 12A;
THENCE ALONG SAID WESTERLY RIGHT-OF-WAY THE FOLLOWING THREE COURSES:
THENCE 36.50 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 25.00 FEET AND A LONG CHORD OF N36°38'10"E 33.35 FEET;
THENCE N05°11'40"W 124.85 FEET;
THENCE 10.51 FEET ALONG A CURVE TO THE LEFT WITH A RADIUS OF 187.50 FEET AND A LONG CHORD OF N06°48'03"W 10.51 FEET;
THENCE LEAVING SAID WESTERLY LINE N02°36'20"E 684.07 FEET TO THE NORTH LINE OF SAID LOT 12A;
THENCE ALONG SAID NORTH LINE N78°02'32"E 26.03 FEET TO THE POINT OF BEGINNING, CONTAINING 3.38 ACRES, MORE OR LESS AND SUBJECT TO ANY AND ALL EASEMENTS OF RECORD OR FACT



COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
planning@rogersar.gov
(479) 621-1186

MEETING DATE
March 16, 2021

TO: PLANNING COMMISSION

RE: **STAFF SUMMARY REPORT**
REZONE – JONES

STAFF: AMBER LONG, PLANNER I

REQUEST DETAILS

ADDRESS/LOCATION:	615 W. Oak St. and 801 A S. 7 th St.
TOTAL AREA TO BE REZONED:	0.62 ± acres
CURRENT ZONING:	R-O and RO-CU (Residential Office, and Residential Office-Condominium Unit)
PROPOSED ZONING:	NBT (Neighborhood Transition)
APPLICANT/REPRESENTATIVE:	Quiontayus Jones
PROJECT OWNER/DEVELOPER:	Quiontayus Jones
PROPERTY OWNER:	Kezie Odunukwe
NATURE OF REQUEST:	Approval of Rezone
AUTHORITY:	Sec. 14-727, Rogers Code of Ordinances

SUMMARY

This request is consistent with the Comprehensive Growth Map. NBT is an allowed zoning district within the Regional Center Growth Designation, and the subject properties are intended for NBT zoning per the Downtown Zoning Plan. See STAFF REVIEW for additional findings.

Community Development recommends **approval** of this request.

STAFF REVIEW

1. COMPREHENSIVE GROWTH MAP:

- a) Growth Designation:
Regional Center.
- b) Growth Designation Character:
Mixed-use urban cores that function as regional activity hubs for commerce, arts and entertainment, living, recreation, and retail. Intensity supported by well-connected, high-capacity, pedestrian-oriented street network. Goals include high-quality design and efficient use of land (CGM Page 1).
- c) Base Density:
N/A
- d) Max Density:
N/A
- e) Allowed Zoning Districts:
COR, COM, IA, NBT, U-COR, U-COM, U-ENT, U-NBT.

2. ZONING:

- a) NBT (Neighborhood Transition):
The purpose and intent of the NBT zoning district is “to support appropriate transition between existing residential neighborhoods and open space and the more active commercial and urban residential areas. The intent is to support the character of the neighborhoods around downtown,” (Sec. 14-715(4.5)(a)).
- b) General Findings:
The subject properties are developed, with no current use at 615 W. Oak Street and office use at 801-A S. 7th Street. The lots are surrounded by N-R, C-2, and C-3 zoning within the Regional Center Growth Designation; and they are located less than one mile east of Neighborhood and Access Corridor Growth Designations. Per the Downtown Regional Zoning Plan, the subject properties are intended for NBT. Staff finds this to be an appropriate request due to consistency with the CGM and current neighborhood characteristics.

3. RECOMMENDATIONS:

- a) Approve request.

DIRECTOR'S COMMENTS

- 1. Agree with recommendations.



JOHN C. MCCURDY, Director
Community Development

SUGGESTED MOTIONS

- 1. IF APPROVING AS PRESENTED:
Move to recommend City Council approval as presented.
- 2. IF APPROVING SUBJECT TO OTHER ACTIONS:
Move to recommend City Council approval subject to [conditions or contingencies].
- 3. IF DENYING:
Move to deny the request as presented.
- 4. IF TABLING:
Move to table the request as presented [indefinite or date certain].

TABS

1. Vicinity maps (aerial, CGM, zoning)
2. Rezone application with required supplements

TAB 1

AERIAL VICINITY MAP



CGM VICINITY MAP



ZONING VICINITY MAP





DEPT. OF COMMUNITY DEVELOPMENT
PLANNING DIVISION
CITY OF ROGERS, ARKANSAS
301 W. CHESTNUT
PHONE: (479) 621-1186
FAX: (479) 986-6896

OFFICE USE ONLY

Permit Fee: _____ (\$200)
Zoning: _____ to _____
Permit Number: _____
CityView Application: _____
Date: _____

REZONE APPLICATION

APPLICANT: Quiontayus Jones
ADDRESS: 615 West Oak & 801 A South 7th Street Rogers, AR 72756 SUITE #: _____
GENERAL LOCATION OF PROPERTY: One Block North of Rogers Heritage High School
PHONE #: 479-966-3022 EMAIL: newuark@gmail.com
PROPERTY OWNER: Kezie Odunukwe PHONE #: 479-200-7569
PRESENT USE: Vacant - 601 W. Oak | 801 A S. 7th - Leased ZONING: RO & RO-CU
PROPOSED USE: Multi-family ZONING: NBT

Quiontayus Jones
Applicant Signature

02/19/2021
Date

Attachment Checklist:

- ☒ Legal description of property
- ☒ Applicant Certification
- ☒ Property Owner Affidavit
- ☐ Site plan as needed

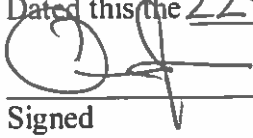
PLANNING STAFF PROVIDES:

DATE FILED: _____ PUBLIC HEARING DATE: _____ CERTIFIED MAIL DATE: _____
PLANNING COMMISSION ACTION: _____ DATE: _____
CITY COUNCIL ACTION: _____ DATE: _____
ORDINANCE NUMBER: _____ COMMENTS: _____

CERTIFICATION

I hereby state that to the best of my knowledge all property owners within 300 feet of my property have been notified by Certified mail at least 15 days prior to the upcoming public hearing for my rezone request.

Dated this the 22nd day of February, 20 21.



Signed

Quintavus Jones
Name Printed

STATE OF ARKANSAS

COUNTY OF Benton

Subscribed and sworn before me this the 22 day of February, 2021.



Notary Signature

Becky Nilles

Notary Name Printed

Feb 3 2026

Commission Expires

BECKY NILLES
WASHINGTON COUNTY
NOTARY PUBLIC -- ARKANSAS
My Commission Expires Feb. 3, 2026
Commission No. 12696708

PROPERTY OWNER AFFIDAVIT

The petitioner, Quiontayus Jones, petitions the Planning Commission of the City of Rogers, Arkansas to rezone certain real property as set forth herein:

LEGAL DESCRIPTION:

- Lot 25, Block 3, Duckworth's Addition-Rogers, Benton County, Arkansas.
- Lot 26, 27/3, Duckworth's Addition-Rogers, Benton County, Arkansas.

LAYMAN'S DESCRIPTION:

- 615 West Oak Rogers, AR 72756
- 801 South 7th Rogers, AR 72756

PRESENT ZONING: RO & RO-CU

ZONING REQUEST: Neighborhood Transition (NBT)

Respectfully Submitted,

By: [Signature]
(Property Owner Signature)

STATE OF ARKANSAS

COUNTY OF Benton

Subscribed and sworn before me this the 22 day of February, 2021.

BECKY NILLES
WASHINGTON COUNTY
NOTARY PUBLIC -- ARKANSAS
My Commission Expires Feb. 3, 2026
Commission No. 12696708

[Signature]
Notary Signature

Becky Nilles
Notary Name Printed

Feb 3, 2026
Commission Expires

**LEGAL DESCRIPTION
FOR 615 W. OAK & 801 A. S. 7th STREET ROGERS, AR 72756**

615 West Oak St.

PARCEL NUMBER: 02-04021-000

Legal Description: Lot 25, Block 3, Duckworth's Addition to the City of Rogers, Benton County, Arkansas as shown on Plat Record 19 at Page 13

801 A S. 7th St.

PARCEL NUMBER: 02—04022-000

Legal Description: Lot 26, 27, Block 3, Duckworth's Addition to the City of Rogers, Benton County, Arkansas, Replat PT LTS 13-17 Per Survey 19-13



COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
planning@rogersar.gov
(479) 621-1186

MEETING DATE
March 16, 2021

TO: PLANNING COMMISSION
DEVELOPMENT REVIEW COMMITTEE

RE: **STAFF SUMMARY REPORT**
LARGE-SCALE DEVELOPMENT PLANS – KUM & GO, 2420

STAFF: AMBER LONG, PLANNER I
KRISTIFER PAXTON, DEVELOPMENT COMPLIANCE MANAGER

REQUEST DETAILS

PROJECT NAME:	Kum & Go, 2420
ADDRESS/LOCATION:	5120 W. Pleasant Grove Rd.
PROPOSED USE:	Convenience Store with Gas
CURRENT ZONING:	C-3 (Neighborhood Commercial)
CGM GROWTH DESIGNATION:	Neighborhood Center
APPLICANT/REPRESENTATIVE:	Michael Clotfelter, Ozark Civil Engineering Inc.
PROJECT OWNER/DEVELOPER:	Kum & Go L.C.
PROPERTY OWNER:	Warren Family LLC
NATURE OF REQUEST:	Approval of Large-Scale Development Plans
AUTHORITY:	Chapter 14, Article III, Rogers Code of Ordinances

SUMMARY

This request is to allow the construction of a 5,620-SF convenience store, a canopy with 6 fueling stations, paved parking lot, and detention pond on 2.398± acres. The proposed development plans meet all City requirements (except for requested waivers/variances) and have been forwarded to the Planning Commission for approval per Sec. 14-230(b). See STAFF REVIEW for additional findings.

Community Development recommends approval of this request subject to the following actions:

1. Approve **VARIANCES** from Sec. 14-710(d)(2) and Sec. 14-710(d)(3) to increase the front build-to zone from 5'-30' to 53.61', and allow 100% of the building frontage to be located outside of the BTZ.
2. Approve **VARIANCE** to allow S. Pinnacle Hills Parkway to serve as the primary frontage for the purpose of establishing the front build-to zone, contrary to Sec. 14-1 which defines "Front Yard" as determined by the main entry to which the lot is addressed.
3. Approve **VARIANCE** from Sec. 14-710(d)(1)(b) to allow a maximum accessory structure height greater than 16'.
4. Approve **WAIVER** from Sec. 14-36(g)(1) to allow 6-ft sidewalks to remain along Pinnacle Hills Parkway.
5. Approve **WAIVER** from Sec. 14-36(g)(2) to allow 6-ft sidewalks to remain along W Pleasant Grove Road.

STAFF REVIEW

ENGINEERING REVIEW

1. ACCESS MANAGEMENT:

The applicant's project meets the City of Rogers Access Management requirements.

2. STORMWATER MANAGEMENT:

- 1) The applicant proposes on-site detention facilities located along the north, west and east portions of the Kum & Go Site to meet stormwater management practices. Due to the site being in a Cave Springs Karst Recharge Area, an additional requirement will be that a 24" Concrete Turndown to be installed to prevent infiltration of water into the base materials on the front and two sides of each detention pond outlet pursuant to the detail as seen in the DCM CSK-24 Exhibit 10-3 for Extend Concrete 24" below grade. The applicant has agreed to provide this requirement and to remove the concrete trickle channel to allow additional infiltration to the meet Exhibit 10-4 of the Drainage Criteria Manual, and will show the outline of the filter media on the grading plan. Additionally, the applicant will verify with the City Engineer if the secondary containment as proposed is adequate prior to a Grading Permit being issued in this sensitive area pursuant to the Drainage Criteria Manual requirements.

3. WATER QUALITY:

The applicant proposes Water Quality Capture Volume (WQCV), Extended Dry Detention Basins (EDB), and Porous Landscape Detention (PLD) to meet the water quality requirements.

4. FLOODPLAIN MANAGEMENT:

No portion of the project is located within a Special Flood Hazard Area (SFHA). The project is located in Zone "X" (unshaded).

5. MASTER STREET PLAN IMPROVEMENTS:

a) Street Pavement and Condition:

- i) W Pleasant Grove Road is in standard condition pending a waiver for the sidewalks which will be presented below.
- ii) Pinnacle Hills Pkwy is in standard condition pending a waiver for the sidewalk which will be presented below.

b) Connectivity Standards:

Connectivity requirements will not be required at this site, however site circulation easements and stub-outs to the west are being proposed by the applicant with access easement.

c) Streetscape:

i) Right-of-Way:

- i) The right-of-way width for W Pleasant Grove Road is 80-ft, which match the Typical Street Section width requirements for a Minor Arterial.
- ii) S. Pinnacle Hills Parkway is a varying width right-of-way which meets the requirements along this site.

ii) Sidewalks & Sidepaths:

- i) The applicant requests a **WAIVER** from Sec. 14-36(g)(1) to allow 6-ft sidewalks to remain along Pinnacle Hills Parkway.
- ii) The applicant requests a **WAIVER** from Sec. 14-36(g)(2) to allow 6-ft sidewalks to remain along W Pleasant Grove Road.

d) Trails:

The applicant proposes a dedication of trail easement along the west side that will be built with a future development to the west.

e) Streetlights:

The applicant proposes streetlights as required.

f) Street Trees:

The applicant proposes street trees as required.

6. RECOMMENDATIONS:

- a) Approve **WAIVER** from Sec. 14-36(g)(1) to allow 6-ft sidewalks to remain along Pinnacle Hills Parkway. This matches the existing sidewalk to the north.
- b) Approve **WAIVER** from Sec. 14-36(g)(2) to allow 6-ft sidewalks to remain along W Pleasant Grove Road. This matches the existing sidewalks to the east and west.

PLANNING REVIEW

1. LAND USE:

a) Use Definition:

The C-3 zoning code (Sec. 14-710) allows for the use “Convenience Store with Gas,” conditionally. “Convenience store with gas” is defined as “retail sales of food, beverage, and small convenience items typically found in establishments with long or late hours of operation that also sell gasoline,” (Sec. 14-695(b)(3)(s)).

b) Zoning Compliance:

The proposed project is in compliance with C-3 zoning regulations.

c) CGM Compliance:

The proposed project aligns with the purpose, character, and goals of the Neighborhood Center Growth Designation.

2. DEVELOPMENT STANDARDS:

The proposed development plans conform to all development standards required by Sec. 14-710 and Article III with the exception of any requested waivers and/or variances.

a) Building Disposition:

- i) The applicant requests **VARIANCES** from Sec. 14-710(d)(2) and Sec. 14-710(d)(3) to increase the front build-to zone from 5'-30' to 53.61', and allow 100% of the building frontage to be located outside of the BTZ.
- ii) The applicant request a **VARIANCE** to allow S. Pinnacle Hills Parkway to serve as the primary frontage for the purpose of establishing the front build-to zone, contrary to Sec. 14-1 which defines “Front Yard” as determined by the main entry to which the lot is addressed.
- iii) The applicant requests a **VARIANCE** from Sec. 14-710(d)(1)(b) to allow a maximum accessory structure height greater than 16'.

b) Building Design:

N/A

c) Parking & Loading:

All vehicle and bicycle parking requirements have been met.

d) Screening & Transitions:

N/A

e) Landscaping:

All landscaping requirements have been met.

3. RECOMMENDATIONS:

a) Approve Large-Scale Development Plans subject to the following actions:

- i) Approve **VARIANCES** from Sec. 14-710(d)(2) and Sec. 14-710(d)(3) to increase the front build-to zone from 5'-30' to 53.61', and allow 100% of the building frontage to be located outside of the BTZ along S. Pinnacle Hills Parkway. The applicant requests this variance due to an existing underground gas main and overhead electric located along the north side of the tract and overhead electric located along the east side of the tract.
- ii) Approve **VARIANCE** to allow S. Pinnacle Hills Parkway to serve as the primary frontage for the purpose of establishing the front build-to zone, contrary to Sec. 14-1 which defines “Front Yard” as determined by the main entry to which the lot is addressed. The applicant requests this variance based on the interior orientation of the building and the fact that the site is addressed from W. Pleasant Grove Road. Functionally, however, the primary entrance and building frontage is designed for S. Pinnacle Hills Parkway.
- iii) Approve **VARIANCE** from Sec. 14-710(d)(1)(b) to allow a maximum accessory structure height greater than 16'. The applicant requests this variance due to safety concerns and the general nature of fuel station canopies. The applicant proposes a fuel canopy with a 21'-0" total height and a 15'-6" clearance height to prevent the canopy from being hit by vehicles.

OTHER REVIEWS

The proposed development plans have been reviewed by the City of Rogers Risk Reduction Division and Rogers Water Utilities (see Tab 2 for RWU conditional approval letter). All projects are made available for review by franchise utilities, Benton County 911 Administration, and other affected agencies per Sec. 14-227.

DIRECTOR'S COMMENTS

1. Agree with recommendations.



JOHN C. McCURDY, Director
Community Development

SUGGESTED MOTIONS

1. IF APPROVING:
Move to approve the request as presented.
2. IF APPROVING SUBJECT TO OTHER ACTIONS:
Move to approve the request subject to [conditions, contingencies, waivers/variances].
3. IF DENYING:
Move to deny the request.
4. IF TABLING:
Move to table the request.

TABS

1. Vicinity maps (aerial, zoning, CGM)
2. RWU conditional approval letter
3. Waiver and/or variance request letter
4. Large-Scale Development Plans (cover, site, utility, landscape)

TAB 1

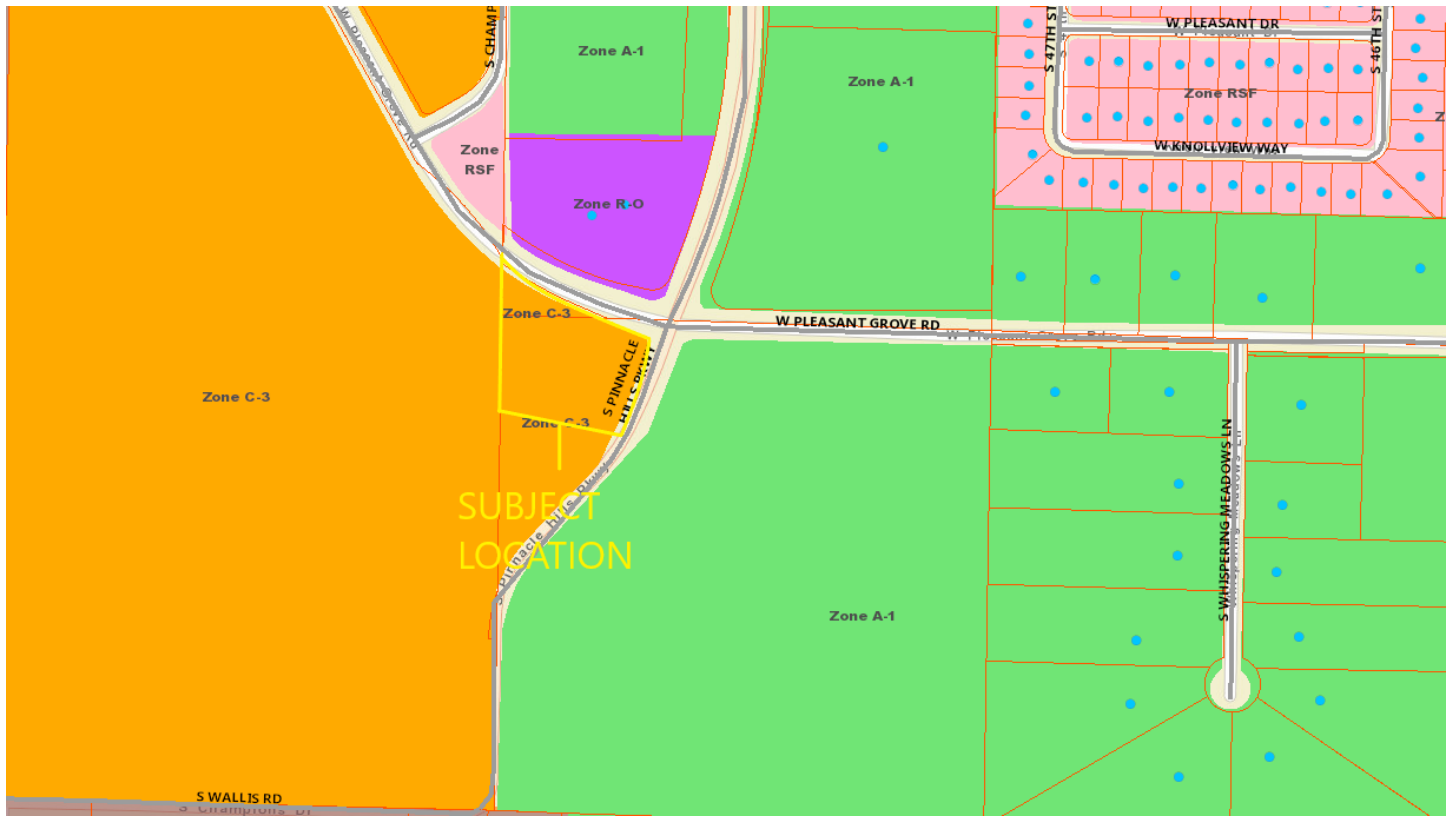
AERIAL VICINITY MAP



CGM VICINITY MAP



ZONING VICINITY MAP





March 12, 2021

Mr. Todd Butler, PE
Ozark Civil Engineering, Inc.
3214 N.W. Avignon Way, Suite 4
Bentonville, AR 72712

Re: Conditional Approval of Civil Plans
Kum & Go 2420 on Pleasant Grove

Dear Mr. Butler:

We have reviewed the plans that were received for the referenced project and are approving them with the following conditions:

1. As per previous comment #7, show the location of the irrigation RPZA. Specify that a USC-FCCCHR approved RPZA will be required and located in a heated space or frost-free enclosure prior to any tees or branches for all irrigation service lines. (Provide a detail for installation indicating manufacturer, model number--complete with all suffixes and prefixes, size, and installation orientation must be shown).
2. Per previous comment #8, the utility easement boundary lines must be located a minimum distance of 7-1/2 feet (10 feet for the 24" transmission main) or the depth of the main, whichever is greater, from the water or sewer main. The easement width for the sewer main is still not adequate.
3. Comment #14 from our previous review required that the sewer main between the existing manhole and MH-A1 will need to be encased where it crosses the existing 12" water main. When a sewer main crosses beneath a water main with less than 18" vertical separation it will be required to be encased on either side of the water main with the ends of the encasement being a minimum of 10' measured perpendicularly from the center of the water main. Also, concrete encasement is not acceptable as encasement material.
4. The following must be submitted prior to scheduling a pre-construction meeting:
 - A. The utility contractor must be licensed by the State of Arkansas in the Underground Piping, Cable, Trenching, Boring Specialty Class or as a Municipal Utility Contractor. A copy of the contractor's license must be submitted if the contractor has not worked recently within the Utility's service area.
 - B. One copy of the revised plans for review.
 - C. Written approval from the Arkansas Department of Health.

- D. Fire suppression plans approved by the Utility if applicable.
- E. Architectural and plumbing plans submitted for commercial customers.
- F. Approved offsite easements filed for record if applicable.
- G. A signed copy of the enclosed Special Contract for Facilities Extensions. Please note and bring to the attention of your client that access fees and impact fees are defined in the contract and must be delivered to the Utility before water service will be established.
- H. A copy of the executed contract between the developer or general contractor and the utility contractor.
- I. Performance and payment bonds executed by the utility contractor.
- J. Two full-sized copies and two half-sized copies of the approved plans submitted at the pre-construction meeting.

Approval of this project is void if construction is not started within one year of the date affixed hereto.

Sincerely,

Stephen T. Ponder, PE

SP:DG

Attachment(s): Special Contract for Facilities Extension



3214 N.W. Avignon Way, Suite 4 ♦ Bentonville, AR 72712
479-464-8850 telephone ♦ 479-464-9040 fax

January 27, 2021
Sent Via Email

Ms. Elizabeth Johnson
Planner III
City of Rogers, AR
Department of Community Development
301 W Chestnut St.
Rogers, AR 72756

**Re: Kum & Go, 2420 – Rogers, Benton County, AR
Waiver Request – Stormwater Detention & Water Quality**

Ms. Johnson,

Per the City of Rogers Drainage Manual, Chapter 9, Section 4.1.4 – Extended Dry Detention Basin; Kum & Go respectfully requests a Waiver be granted to allow for the proposed pond bottoms of the detention and water quality facilities to be less than the minimum requirement of 1% slope.

The site is located at the southwest corner of the intersection of Pinnacle Hills Parkway and W. Pleasant Grove Road. The proposed development is located on approximately 2.398 acres. Construction will include a 5,620 square foot store, six fueling pumps, drainage, water, sanitary sewer services and site lighting to facilitate on-site parking.

The site is also located within Zone 3 of the Cave Springs Direct Recharge area. As such, the proposed detention and water quality facilities must serve this site through a series of extended dry detention basins.

Due to certain site constraints, lot size and several existing utilities crossing the property (overhead electric, gas and public water mains), multiple detention facilities had to be utilized to meet the City's detention and water quality requirements. Furthermore, the proposed water quality facilities were designed to their maximum capacities, however, to obtain the maximum volumes needed within each detention facility, the minimum of 1% slope for the pond bottoms could not be achieved. Therefore, we felt it would be best served to eliminate the minimum of 1% slope on the bottom of each pond so that we may provide the volume necessary for peak discharge rates and water quality measures.

We appreciate your consideration in this matter and if you should have any questions, please feel free to contact Ozark Civil Engineering, Inc. at your convenience.

Sincerely,

Ozark Civil Engineering, Inc.

Michael Clotfelter, Project Manager



3214 N.W. Avignon Way, Suite 4 ♦ Bentonville, AR 72712
479-464-8850 telephone ♦ 479-464-9040 fax

January 26, 2021
Sent Via Email

Ms. Elizabeth Johnson
Planner III
City of Rogers, AR
Department of Community Development
301 W Chestnut St.
Rogers, AR 72756

**Re: Kum & Go, 2420 – Rogers, Benton County, AR
Waiver Request – Major Arterial Street (Pinnacle Hills Parkway)**

Ms. Johnson,

Per the City's Code of Ordinances, Section 14-36(g)(1) – Typical Street Section for Major Arterial Street; Kum & Go respectfully requests a Waiver be granted to allow for the existing 6-foot sidewalks to remain along Pinnacle Hills Parkway and parallel to the Kum & Go east property line (see Exhibit-A attached).

The site is located at the southwest corner of the intersection of Pinnacle Hills Parkway and W. Pleasant Grove Road. The proposed development is located on approximately 2.398 acres. Construction will include a 5,620 square foot store, six fueling pumps, drainage, water, sanitary sewer services and site lighting to facilitate on-site parking.

Kum & Go would request that the City maintain consistency with regards to the existing 6-foot concrete sidewalk that is located on the opposite side (east) of Pinnacle Hills Parkway. As such, waiving the requirement that the existing 6-foot sidewalk located on the west side of Pinnacle Hills Parkway be demolished, removed and replaced with a 10-foot sidewalk.

We appreciate your consideration in this matter and if you should have any questions, please feel free to contact Ozark Civil Engineering, Inc. at your convenience.

Sincerely,

Ozark Civil Engineering, Inc.

Michael Clotfelter, Project Manager



3214 N.W. Avignon Way, Suite 4 ♦ Bentonville, AR 72712
479-464-8850 telephone ♦ 479-464-9040 fax

January 26, 2021
Sent Via Email

Ms. Elizabeth Johnson
Planner III
City of Rogers, AR
Department of Community Development
301 W Chestnut St.
Rogers, AR 72756

Re: Kum & Go, 2420 – Rogers, Benton County, AR
Waiver Request – Minor Arterial Street (W. Pleasant Grove Rd.)

Ms. Johnson,

Per the City's Code of Ordinances, Section 14-36(g)(2) – Typical Street Section for Minor Arterial Street; Kum & Go respectfully requests a Waiver request be granted to allow for the existing 6-foot sidewalks to remain along W. Pleasant Grove Rd and parallel to the Kum & Go north property line (see Exhibit-A attached).

The site is located at the southwest corner of the intersection of Pinnacle Hills Parkway and W. Pleasant Grove Road. The proposed development is located on approximately 2.398 acres. Construction will include a 5,620 square foot store, six fueling pumps, drainage, water, sanitary sewer services and site lighting to facilitate on-site parking.

Kum & Go would request that the City maintain consistency with regards to the existing 6-foot concrete sidewalk that is located on the opposite side (north) of W. Pleasant Grove Rd. As such, waiving the requirement that the existing 6-foot sidewalk located on the south side of W. Pleasant Grove Rd. be demolished, removed and replaced with a 10-foot sidewalk.

We appreciate your consideration in this matter and if you should have any questions, please feel free to contact Ozark Civil Engineering, Inc. at your convenience.

Sincerely,

Ozark Civil Engineering, Inc.

Michael Clotfelter, Project Manager



3214 N.W. Avignon Way, Suite 4 ♦ Bentonville, AR 72712
479-464-8850 telephone ♦ 479-464-9040 fax

January 28, 2021
Sent Via Email

Ms. Elizabeth Johnson
Planner III
City of Rogers, AR
Department of Community Development
301 W Chestnut St.
Rogers, AR 72756

**Re: Kum & Go, 2420 – Rogers, Benton County, AR
Variance Request – Accessory Structure (Fuel Canopy) Maximum Height**

Ms. Johnson,

Per the City's Code of Ordinances, Section 14-710(d)(1) – Maximum Structure Height; Kum & Go respectfully requests a Variance be granted to allow for the fuel canopy to exceed 16 feet in height.

The site is located at the southwest corner of the intersection of Pinnacle Hills Parkway and W. Pleasant Grove Road. The proposed development is located on approximately 2.398 acres. Construction will include a 5,620 square foot store, six fueling pumps, drainage, water, sanitary sewer services and site lighting to facilitate on-site parking.

Kum & Go believes that by limiting the fuel canopy to a maximum height of 16 feet would create safety concerns. Kum & Go has constructed a couple of stores in Colorado with a lower canopy and have had numerous instances of the canopy being struct.

The fuel canopy that is currently proposed at this location in Rogers would be the same height as the most recent Kum & Go project located at the intersection of W. Hudson Rd./Hwy-94 and N. 2nd Street in Rogers, AR.

Kum & Go would prefer not to jeopardize the safety of their patrons by modifying the height of the canopy from that of their prototypical. Kum & Go feels that the fuel canopy prototypical heights (21'-0" total height and 15'-6" clearance height) provide an additional safety precaution and helps to ensure that the structure is protected from the vehicular movements in and around the area of the fuel canopy.

We appreciate your consideration in this matter and if you should have any questions, please feel free to contact Ozark Civil Engineering, Inc. at your convenience.

Sincerely,

Ozark Civil Engineering, Inc.


Michael Clotfelter, Project Manager



3214 N.W. Avignon Way, Suite 4 ♦ Bentonville, AR 72712
479-464-8850 telephone ♦ 479-464-9040 fax

March 12, 2021
Sent Via Email

Ms. Amber Long
Planner I
City of Rogers, AR
Department of Community Development
301 W Chestnut St.
Rogers, AR 72756

**Re: Kum & Go, 2420 – Rogers, Benton County, AR
Variance Request – Minimum Front Yard Setback**

Ms. Long,

Per the City's Code of Ordinances, Section 14-710(d)(2) – Minimum Yard Requirements; Kum & Go respectfully requests a Variance request be granted to allow for the front yard requirements to be located outside of the 5 feet minimum, 30 feet maximum build to zones.

Furthermore, per the City's Code of Ordinances, Section 14-1 – Definitions; "Front yard" means the portion of a lot between the front building setback line and the public right-of-way, access easement or property line, whichever is closest to the front of the building as determined by the main entry to which the lot is addressed.

The site is located at the southwest corner of the intersection of Pinnacle Hills Parkway and W. Pleasant Grove Road. The proposed development is located on approximately 2.473 acres. Construction will include a 5,620 square foot store, six fueling pumps, drainage, water, sanitary sewer services and site lighting to facilitate on-site parking.

Due to the existing utilities located along the north and east property lines, the store cannot be positioned within the 5 feet minimum, 30 feet maximum build to zones as required under the C-3 Neighborhood Commercial zoning. Currently there is an existing underground gas main and overhead electric located along the north property line and an existing overhead electric located along the east property line. As such, Kum & Go would request that a Variance be granted due to the hardship created by the location of the existing utilities and an increase in cost to this project to relocate those utilities to meet the C-3 zoning requirements for the minimum front yard setback.

For this site, the primary entrance and the Kum & Go store was orientated to face Pinnacle Hills Parkway despite of the site's address being referenced from W. Pleasant Grove Road.

Kum & Go, 2420 – Fayetteville, AR
March 12, 2021

We appreciate your consideration in this matter and if you should have any questions, please feel free to contact Ozark Civil Engineering, Inc. at your convenience.

Sincerely,

Ozark Civil Engineering, Inc.



Michael Clotfelter, Project Manager



PROJECT TEAM:

OWNER/DEVELOPER/APPLICANT: KUM & GO L.C. 6400 WESTOWN PARKWAY WEST DES MOINES, IA 50266 CONTACT: DAN GARNEAU PHONE: 515.457.6392 EMAIL: Dan.Garneau@kumandgo.com	CITY OF ROGERS: COMMUNITY DEVELOPMENT 301 W. CHESTNUT ST. ROGERS, AR 72756 DIRECTOR OF COMMUNITY DEVELOPMENT CONTACT: JOHN MCCURDY OFFICE: 479.621.1186 EMAIL: community.development@rogersar.gov	TELEPHONE: AT&T 1133 E. HAROLD ST. FAYETTEVILLE, AR CONTACT: BRYAN WILLIAMS PHONE: 479.442.3173 EMAIL: aw9156@att.com
ENGINEER: OZARK CIVIL ENGINEERING, INC. 3214 NW AVIGNON WAY, STE 4 BENTONVILLE, AR 72712 CONTACT: TODD A. BUTLER, P.E. PHONE: 479.464.8850 EMAIL: tbutler@ozarkcivil.com	STORM SEWER: CITY OF ROGERS 301 W. CHESTNUT ST. ROGERS, AR 72756 CITY ENGINEER CONTACT: LANCE JOBE PHONE: 479.621.1186 EMAIL: ljobe@rogerar.gov	GAS: BLACK HILLS ENERGY CONTACT: Scott Stokes PHONE: 479.435.0229 EMAIL: Scott.Stokes@blackhillscorp.com
GEOTECHNICAL ENGINEER: BUILDING & EARTH 3165 PINE WOODS ROAD SPRINGDALE, AR 72762 CONTACT: JOSEPH D. VISTAD PHONE: 479.756.1555 EMAIL:	WATER AND SEWER: ROGERS WATER UTILITIES 601 S. 2ND ST. ROGERS, AR 72756 CONTACT: STEPHEN PONDER PHONE: 479.621.1142 EMAIL: stephenponder@rogerar.gov	HEALTH DEPARTMENT: 4815 W. MARKHAM ST. SLOT LITTLE ROCK, AR 72205 DISTRICT 1 ENGINEER CONTACT: Adam Parker, E.I. PHONE: 501.661.2623
SURVEYOR: OZARK CIVIL ENGINEERING, INC. 3214 NW AVIGNON WAY, STE 4 BENTONVILLE, AR 72712 CONTACT: RICK DAYTON PHONE: 479.464.8850 EMAIL: rdayton@ozarkcivil.com	ELECTRIC: CARROLL ELECTRIC CONTACT: DEREK THURMAN PHONE: 479.273.2421 EXT. 2690 EMAIL: dthurman@carrollecc.com	

BENCHMARKS:

BASIS OF BEARINGS:
ARKANSAS STATE PLANE COORDINATES (NORTH ZONE),
NAD 83 (2011).

OFF-SITE BENCHMARK NO. 1: TOP WEST CORNER OF CURB INLET
105.5' EAST AND 60.3' SOUTH OF NW CORNER SURVEYED
PROPERTY.
ELEVATION 1298.92 (NAVD 88)

OFF-SITE BENCHMARK NO. 2: SQUARE CUT IN TOP CENTER OF
CONCRETE HEADWALL 69.8 FEET EAST AND 391.0' SOUTH OF SW
CORNER SURVEYED PROPERTY.
ELEVATION: 1297.30 (NAVD 88)

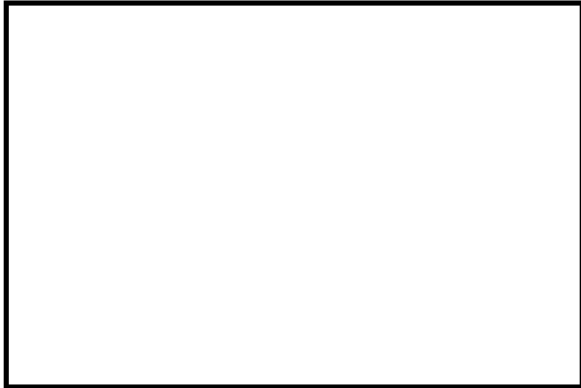
LEGAL DESCRIPTION:

PART OF THE SW ¼, SW ¼, AND PART OF THE NW ¼, SW ¼, SECTION 28, TOWNSHIP 19 NORTH, RANGE 30 WEST OF THE 5TH/ P.M., CITY OF
ROGERS, BENTON COUNTY, ARKANSAS, MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE NW CORNER OF SAID SW ¼, SW ¼; THENCE SOUTH 87°11'00" EAST, 10.00 FEET ALONG THE NORTH LINE OF SAID SW ¼
SW ¼ TO THE POINT OF BEGINNING; THENCE NORTH 3°13'28" EAST, 136.70 FEET TO A POINT ON THE SOUTH RIGHT OF WAY OF WEST
PLEASANT GROVE ROAD; THENCE ALONG SAID SOUTH RIGHT OF WAY AROUND A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF
797.37 FEET, AN ARC LENGTH OF 7.47 FEET, A CHORD BEARING OF SOUTH 54°14'42" EAST AND A CHORD LENGTH OF 7.47 FEET; THENCE
CONTINUING ALONG SAID SOUTH RIGHT OF WAY AROUND A TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 1079.00 FEET, AN ARC
LENGTH OF 245.42 FEET, A CHORD BEARING OF SOUTH 81°01'35" EAST AND A CHORD LENGTH OF 244.89 FEET; THENCE CONTINUING ALONG
SAID SOUTH RIGHT OF WAY SOUTH 64°43'24" EAST, 63.63 FEET; THENCE CONTINUING ALONG SAID SOUTH RIGHT OF WAY SOUTH 67°34'17"
EAST, 63.73 FEET; THENCE AROUND A TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 50.00 FEET, AN ARC LENGTH OF 79.28 FEET, A CHORD
BEARING OF SOUTH 22°09'04" EAST AND A CHORD LENGTH OF 71.23 FEET TO A POINT ON THE WEST RIGHT OF WAY OF S. PINNACLE
HILLS PARKWAY; THENCE ALONG SAID WEST RIGHT OF WAY SOUTH 23°16'21" WEST, 226.44 FEET; THENCE CONTINUING ALONG SAID WEST
RIGHT OF WAY AROUND A TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 415.50 FEET, AN ARC LENGTH OF 28.14 FEET, A CHORD
BEARING OF SOUTH 25°12'47" WEST AND A CHORD LENGTH OF 28.14 FEET; THENCE LEAVING SAID WEST RIGHT OF WAY AROUND A
NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 44.50 FEET, AN ARC LENGTH OF 50.12 FEET, A CHORD BEARING OF NORTH 34°27'43"
WEST AND A CHORD LENGTH OF 47.51 FEET; THENCE NORTH 66°43'39" WEST, 272.93 FEET; THENCE NORTH 2°20'10" EAST, 190.58 FEET TO THE
POINT OF BEGINNING.
CONTAINS 104,447 SQUARE FEET OR 2.398 ACRES OF LAND, MORE OR LESS.

CITY OF ROGERS NOTES:

- A STATE CONTRACTOR'S LICENSE IS REQUIRED FOR PROJECTS EXCEEDING \$20,000.
- AN EASEMENT PLAT IS REQUIRED FOR CERTIFICATE OF OCCUPANCY.
- ALL CIVIL PLANS USED ON SITE MUST INCLUDE MOST CURRENT STAMP BY ROGERS PLANNING.
- IT IS THE RESPONSIBILITY OF THE ENGINEER OF RECORD TO INCLUDE ALL ITEMS REQUIRED BY ORDINANCE. IF APPROVED PLANS CONFLICT WITH ORDINANCE REQUIREMENTS, THE ORDINANCE TAKES PRECEDENCE UNLESS A WAIVER OR VARIANCE HAS BEEN GRANTED.
- STOCKPILES WITH EXCESS CONSTRUCTION SITE MATERIALS, INCLUDING BUT NOT LIMITED TO EXCESS TOP SOIL STOCKPILES, MUST BE REMOVED FROM SITE PRIOR TO PROJECT COMPLETION. GRADING BEYOND THE APPROVED LIMITS IS PROHIBITED.
- THERE IS TO BE NO LIGHT BLEED-OFF ON ADJACENT RESIDENTIAL AREAS.
- IF A KARST FEATURE (SPRING, SINKHOLE OR OTHER DIRECT RECHARGE FEATURE ASSOCIATED WITH KARST HYDROLOGY) IS ENCOUNTERED DURING CONSTRUCTION, CONSTRUCTION IN THE VICINITY SHOULD BE HALTED AND THE AREA PROTECTED WITH REDUNDANT PERIMETER CONTROLS. AN ARKANSAS-REGISTERED PROFESSIONAL GEOLOGIST OR ENGINEER SHOULD EVALUATE TO RECOMMEND DESIGN MODIFICATIONS TO LIMIT IMPACTS AND DIRECT RECHARGE OF RUNOFF. IF A KARST FEATURE IS ENCOUNTERED, IMMEDIATELY NOTIFY THE STORMWATER MANAGER AT THE CITY OF ROGERS AT 479-621-1186.

CITY APPROVAL STAMP





**Know what's below.
Call before you dig.**

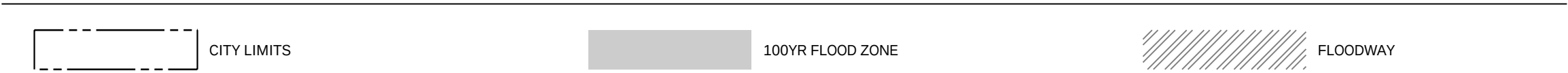
CALL 811 SEVENTY-TWO HOURS PRIOR TO DIGGING,
GRADING OR EXCAVATING FOR THE MARKING OF
UNDERGROUND MEMBER UTILITIES.

CONFIDENTIAL DOCUMENT:
INFORMATION CONTAINED IN THIS DOCUMENT IS
PROPRIETARY TO KUM & GO, L.C. AND SHALL NOT
BE DISTRIBUTED.

VICINITY MAP | NOT TO SCALE



VICINITY MAP LEGEND:



GENERAL NOTES:

- INFORMATION CONCERNING UNDERGROUND UTILITIES WAS OBTAINED FROM AVAILABLE RECORDS AND EXISTING FIELD CONDITIONS WHEN POSSIBLE. THE CONTRACTOR MUST DETERMINE THE EXACT LOCATION AND ELEVATION OF ALL EXISTING UTILITIES BY HAND DIGGING TEST PITS AT ALL UTILITY CROSSINGS IN ADVANCE OF TRENCHING WITH ANY MECHANICAL DEVICE. CLEARANCES LESS THAN SPECIFIED ON THESE PLANS OR 18" (INCHES), WHICHEVER IS LESS, CONTRACTOR SHALL CONTACT OZARK CIVIL ENGINEERING, INC. @ 479-464-8850 PRIOR TO ANY FURTHER CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATION OR REMOVAL OF EXISTING UNDERGROUND UTILITIES SHOWN OR NOT SHOWN AT NO ADDITIONAL COST TO THE OWNER.
- CONTRACTOR SHALL INCLUDE IN CONTRACT THE PRICE FOR THE REMOVAL AND DISPOSAL OF ANY EXCESS TOPSOIL THAT IS DETERMINED NOT NEEDED TO ESTABLISH THE FINAL GRADES AND LANDSCAPING.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND USE OF ANY AND ALL REQUIRED OR NECESSARY SHORINGS, SHEETING, BRACING AND SPECIAL EXCAVATION MEASURES REQUIRED ON THIS PROJECT THAT WILL MEET OR EXCEED OSHA, FEDERAL, STATE AND LOCAL REGULATIONS DURING CONSTRUCTION. OZARK CIVIL ENGINEERING, INC. AND THE DEVELOPER AND/OR OWNER ACCEPTS NO RESPONSIBILITY FOR THE CONTRACTOR'S FAILURE TO COMPLY WITH THESE REGULATIONS.
- ALL UTILITIES, INCLUDING STORM SEWER SHOWN WITHIN PUBLIC EASEMENTS OR RIGHT OF WAYS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE CONSTRUCTED TO THE CLIENT'S SPECIFICATIONS, THE REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION, OR FOLLOW THE 10 STATE STANDARDS RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES, CURRENT EDITION' WHICHEVER IS MORE STRINGENT. IF THERE IS A QUESTION AS TO WHICH SPECIFICATIONS SHOULD APPLY THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW ALL RECOMMENDATIONS. WHERE A CONFLICT EXISTS BETWEEN THE CITY'S, COUNTY'S AND/OR HIGHWAY DEPARTMENT'S STANDARDS, THE MOST STRINGENT SHALL APPLY.
- FURTHERMORE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN THE EROSION CONTROL MEASURES AS SHOWN AS PART OF THESE PLANS. CONTRACTOR SHALL KEEP THESE MAINTAINED THROUGHOUT ALL PHASES OF CONSTRUCTION. CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR IMPLEMENTING THE SWPPP.
- ALL PHASES OF CONSTRUCTION SHALL MEET OR EXCEED THE OWNERS AND/OR DEVELOPERS SITE WORK SPECIFICATIONS.
- REFER TO ARCHITECTURAL AND MEP PLANS FOR THE EXACT DIMENSIONS AND LOCATIONS OF ANY RAMPS, VESTIBULES, PORCHES, SLOPED PAVING, BUILDING UTILITY ENTRANCE LOCATIONS, TRUCK DOCKS OR WELLS, AND PRECISE BUILDING DIMENSIONS.
- CONTRACTOR SHALL REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION PROCEDURES. DISPOSAL SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY ALL EXISTING FEATURES AS SHOWN ON THE SURVEY AND NOTIFY THE SURVEYOR AND THE ENGINEER OF RECORD OF ANY INACCURACIES FOUND ON THE SURVEY PRIOR TO BEGINNING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- ALL WORK PERFORMED WITHIN A PUBLIC RIGHT OF WAY OR OTHERWISE NOTED ON THE THESE PLANS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. IF ANY WORK PERFORMED IS NOT PROTOTYPICAL OR CONSTRUCTION CANNOT BE ACHIEVED, CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO OZARK CIVIL ENGINEERING, INC. FOR REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING ALL PHASES OF CONSTRUCTION OF THIS SITE. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND SHALL NOT BE LIMITED TO CONSTRUCTION WORKING HOURS.

WARRANTY / DISCLAIMER
THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR DESIGN FUNCTION AND USE INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR HIS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION AT THE SITE.

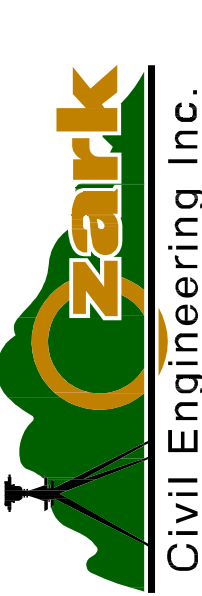
LARGE SCALE DEVELOPMENT PLANS
STORE # 2420
5120 W. PLEASANT GROVE RD.
ROGERS, AR

REV/ADD	SHEET INDEX	
	1	COVER SHEET
	2	GENERAL NOTES
	3	SURVEY
	4	SITE LAYOUT PLAN
	5	PAVEMENT & STRIPING PLAN
	6	ADA COMPLIANCE PLAN
	7	EASEMENT PLAN
	8	CONSTRUCTION DETAILS PG.1
	9	CONSTRUCTION DETAILS PG.2
	10	PAVEMENT DETAILS PG.1
	11	PAVEMENT DETAILS PG.2
	12	DEMO AND INITIAL EROSION & SEDIMENT CONTROL PLAN
	13	FINAL EROSION & SEDIMENT CONTROL PLAN
	14	EROSION AND SEDIMENT CONTROL DETAIL SHEET
	15	GRADING PLAN
	16	DRAINAGE PLAN
	17	PUBLIC STORM SEWER PLAN & PROFILE "A"
	18	PUBLIC STORM SEWER PLAN & PROFILE "B"
	19	PUBLIC STORM SEWER PLAN & PROFILE "C"
	20	GRADING AND DRAINAGE DETAILS PG.1
	21	GRADING AND DRAINAGE DETAILS PG.2
	22	GRADING AND DRAINAGE DETAILS PG.3
	23	GRADING AND DRAINAGE DETAILS PG.4
	24	GRADING AND DRAINAGE DETAILS PG.5
	25	GRADING AND DRAINAGE DETAILS PG.6
	26	UTILITY PLAN
	27	PUBLIC SEWER MAIN EXTENSION STA: 0+00 TO 4+50
	28	PUBLIC SEWER MAIN EXTENSION STA: 4+50 TO 9+00
	29	PUBLIC SEWER MAIN EXTENSION STA: 9+00 TO 14+00
	30	UTILITY DETAILS
	31	PETRO DETAILS PG.1
	32	PETRO DETAILS PG.2
	33	LANDSCAPE PLAN
	34	LANDSCAPE DETAILS
	35	IRRIGATION PLAN
	36	IRRIGATION DETAILS
GOVERNING AGENCIES DETAILS		
	37	CITY OF ROGERS DETAILS
	38	ROGERS WATER UTILITIES - SEWER DETAILS
	39	ROGERS WATER UTILITIES - WATER DETAILS
	40	ROGERS WATER UTILITIES - WATER DETAILS
ARCHITECTURAL PLANS		
	41	EXTERIOR ELEVATIONS
	42	CANOPY ELEVATIONS
	43	TRASH ENCLOSURE ELEVATIONS

DRAWINGS NOT INCLUDED IN THIS SUBMITTAL

SITE DATA		
STORE TYPE		MP-LD-2017V4
CANOPY / DISPENSER ARRANGEMENT		6 DOUBE
TYPE OF USE		CONVENIENCE STORE WITH FUEL - CUP WAS APPROVED BY PLANNING ON DEC 15th, 2020
HEIGHT	BUILDING	20'-10" / 1 STORY
	TOP OF BLADE WALL	22'-6"
	CANOPY	9'-0"
GROSS FLOOR AREA		5,620 S.F.
GROSS CANOPY AREA		4,410 S.F.
TOTAL GROSS SITE AREA		±2,398 AC / 104,446.85 SF
TOTAL R/W DEDICATION		±0.004 AC / 157,866 SF
TOTAL NET SITE AREA		± 2.394 AC / 104,288.984
FAR (INCLUDING CANOPY)		9.62%
COVERAGES	BUILDING	5,620 SF (5.39%)
	PARKING/DRIVE/SIDEWALK	± 55,511.375 (53.23%)
	IMPERVIOUS AREAS	± 61,131.375 (58.62%)
	OPEN SPACE (LANDSCAPE)	± 43,157.609 SF (41.38%)
BICYCLE PARKING		2 SPACES
NO MINIMUM PARKING REQUIRED		
PROVIDED PARKING	STANDARD (9' x 19')	21
	ADA (8' x 19')	2
	TOTAL	23
	PARKING RATIO = 1 CARS/250 S.F.	

ZONING INFORMATION	
CURRENT ZONING	C-3
MINIMUM LOT AREA (SQUARE FEET)	N/A
MINIMUM LOT WIDTH (FEET)	N/A
SITE AREA PER UNIT (SQUARE FEET)	N/A
FRONT YARD (EAST) SETBACK (FEET)	5' TO 30' BUILD TO ZONE
NORTH SIDE YARD SETBACK (FEET)	5'
SOUTH SIDE YARD SETBACK (FEET)	5'
REAR YARD (WEST) SETBACK (FEET)	10'
MAXIMUM HEIGHT	3 STORIES
MAXIMUM BUILDING COVERAGE	80%
MAXIMUM IMPERVIOUS COVERAGE	90%



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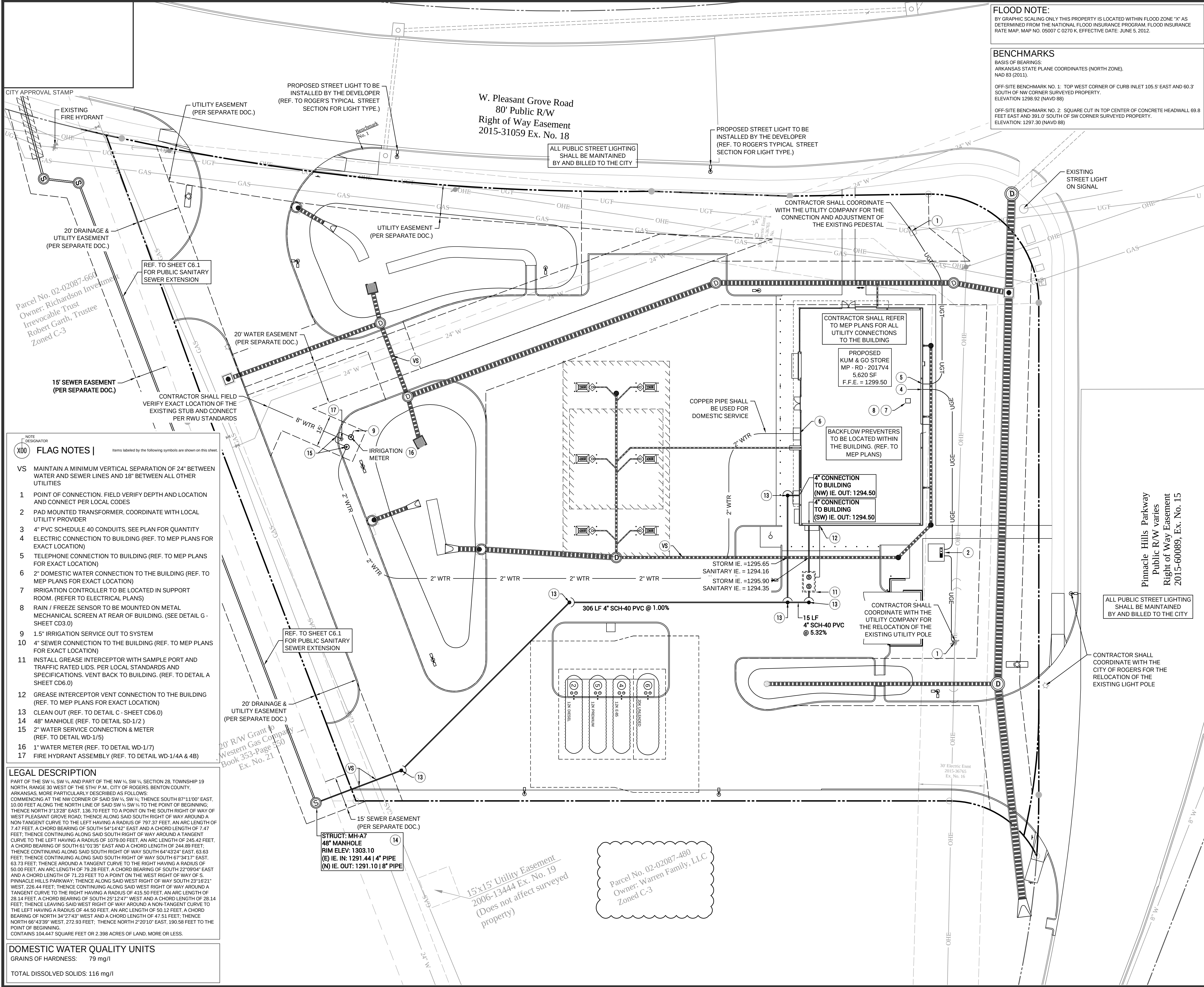
2420 - ROGERS, AR
5120 W. PLEASANT GROVE RD.
COVER SHEET

KG PROJECT TEAM:
RDM: Alex Sappingfield
SDM: Dan Garneau
CPM: Scott Newbury

REVISION DESCRIPTION		REVISIONS	
DATE			
△			
DATE:		02/25/20201	
SHEET NUMBER:		C1.0	

PL202100041

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PROPOSED FEATURES	REFER TO SURVEY FOR EXISTING FEATURES
PROPERTY LINE	
SUBDIVISION / OUTPARCEL PROPERTY LINE	
EDGE OF ASPHALT	
EDGE OF GRAVEL	
CONCRETE CURB AND GUTTER	REFER TO SITE PLAN FOR TYPE AND SIZE
FENCING	REFER TO SITE PLAN FOR TYPE AND SIZE
STORM SEWER	REFER TO PLAN FOR TYPE AND SIZE
SEWER LINES	REFER TO PLAN FOR TYPE AND SIZE
WATERLINES	REFER TO PLAN FOR TYPE AND SIZE
UNDERGROUND ELECTRIC SERVICE	
OHE	OVERHEAD ELECTRIC SERVICE
UGT	UNDERGROUND TELEPHONE SERVICE
OHT	OVERHEAD TELEPHONE SERVICE
FO	FIBER OPTIC CABLE SERVICE
GAS SERVICE	
DRAINAGE STRUCTURES	REFER TO GRADING PLAN FOR TYPE
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEAN OUT	
UTILITY POLE	
FIRE HYDRANT	REFER TO PLAN FOR BOLLARD COUNT
WATER LINE TEE, BEND, VALVE, AND PLUG	
SITE LIGHTING	REFER TO ELECTRICAL PLAN FOR TYPE, SIZE & DETAILS

GENERAL NOTES
1. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING THE CITY CONSTRUCTION DIVISION TO SCHEDULE A PRE-CONSTRUCTION MEETING AT LEAST 48 HOURS PRIOR TO STARTING ANY WORK ON THIS PROJECT. CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS.
2. ALL PROPOSED UTILITIES SHALL HAVE A BURIED DEPTH OF COVER OVER TOP OF THE PIPE AT LEAST 6" (INCHES) BELOW LEVEL OF MAXIMUM FROST PENETRATION, OR AS REQUIRED BY REGULATORY AUTHORITY HAVING JURISDICTION, WHICHEVER IS DEEPER. IF PIPE IS INSTALLED IN AN EXCAVATED "CUT" SECTION PRIOR TO COMPLETION OF GRADING OPERATIONS, PIPE SHALL BE INSTALLED SO THAT MINIMUM REQUIRED COVER WILL EXIST UPON COMPLETION OF GRADING OPERATIONS.
3. FOR PROPOSED UTILITIES INSTALLATION SHALL BE COORDINATED AND APPROVED BY THE REGULATORY AUTHORITY HAVING JURISDICTION.
4. THE EXISTING UTILITIES, OBSTRUCTIONS AND STRUCTURES SHOWN ON THE SE PLANS ARE FROM THE BEST AVAILABLE RECORDS. THE CONTRACTOR SHALL CALL THE STATE ONE-CALL SYSTEM OR DESIGNATED UTILITY COMPANY PRIOR TO CONSTRUCTION AND ALL EXISTING UTILITIES, OBSTRUCTIONS AND STRUCTURES SHALL BE LOCATED AND FIELD VERIFIED AT NO ADDITIONAL COST BY THE CONTRACTOR TO THEIR SATISFACTION PRIOR TO CONSTRUCTION OF THE PROPOSED UTILITIES AND STRUCTURES. NECESSARY PRECAUTIONS SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT EXISTING SERVICES AND MAINS, AND ANY DAMAGE TO THEM SHALL BE REPAIRED IMMEDIATELY AT THE CONTRACTOR'S EXPENSE.
5. CONTRACTOR SHALL COORDINATE ANY OBSTRUCTIONS TO EXISTING UTILITY SERVICES WITH ADJACENT PROPERTY OWNERS.
6. IT SHALL BE DISTINCTLY UNDERSTOOD THAT FAILURE TO SPECIFICALLY MENTION WORK WHICH IS REQUIRED TO COMPLETE THE PROJECT SHALL NOT RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY TO PERFORM SUCH WORK.
7. ALL ELECTRIC, TELEPHONE AND GAS EXTENSIONS INCLUDING SERVICE LINES SHALL BE CONSTRUCTED TO THE APPROPRIATE UTILITY COMPANY'S SPECIFICATIONS AND ALL UTILITY DISCONNECTIONS SHALL BE COORDINATED WITH THE DESIGNATED UTILITY COMPANIES.
8. PRIOR TO THE CONSTRUCTION OF OR CONNECTION TO ANY STORM OR SANITARY SEWER, WATER MAIN OR ANY OF THE DRY UTILITIES, THE CONTRACTOR SHALL EXCAVATE, VERIFY AND CALCULATE ALL POINTS OF CONNECTION AND ALL UTILITY CROSSINGS AND INFORM OZARK CIVIL ENGINEERING, INC. AND THE DEVELOPER AND/OR OWNER OF ANY CONFLICT OR REQUIRED DEVIATIONS FROM THE PLAN. NOTIFICATION SHALL BE MADE A MINIMUM OF 48 HOURS PRIOR TO CONSTRUCTION. OZARK CIVIL ENGINEERING, INC. AND ITS CLIENTS SHALL BE HELD HARMLESS IN THE EVENT THAT THE CONTRACTOR FAILS TO MAKE SUCH NOTIFICATION.
9. UNLESS OTHERWISE SPECIFIED OR REQUIRED BY THE REGULATORY AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT, ALL MATERIAL USED FOR WATERLINES 6" AND LARGER SHALL BE AT A MINIMUM PVC, C900, CLASS 150, SDR 35.
10. ALL WATER LINE FITTINGS SHALL BE INSTALLED WITH THRUST BLOCKING PER DETAIL D128 OR APPROVED EQUIVALENT ANCHOR. (REFER TO DETAIL SHEETS)
11. FIRE HYDRANT AND ASSEMBLY SHALL BE INSTALLED IN ACCORDANCE WITH THE REGULATORY AUTHORITY HAVING JURISDICTION OVER THE WATER SYSTEM. (REFER TO DETAIL SHEETS)
12. ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED GATE VALVE A MAXIMUM OF 5' 0" FROM HYDRANT OR PER THE REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION.
13. ALL WATER MAINS SHALL BE HYDROSTATICALLY TESTED AND DISINPECTED BEFORE ACCEPTANCE PER THE REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION.
14. THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS 10' FEET. THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS 12" (INCHES).
15. ALL WATER AND SANITARY LEADS TO BUILDING SHALL END 5' (FEET) OUTSIDE THE BUILDING LIMITS AS SHOWN ON PLAN AND SHALL BE PROVIDED WITH A TEMPORARY PLUG AT END. (UNLESS OTHERWISE SPECIFIED)
16. ALL WATER AND SEWER LINE PIPE BEDDINGS SHALL BE INSTALLED PER PER THE REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION. (REFER TO DETAIL SHEETS)
17. CONTRACTOR SHALL NOT TAP OR OTHERWISE PENETRATE EXISTING WATER AND SEWER MAIN LINES WITHOUT PRIOR APPROVAL FROM THE CITY'S INSPECTOR. CONTRACTOR IS RESPONSIBLE FOR AVOIDING SPLASH OF RAW SEWAGE. CONTRACTOR SHALL PROVIDE ALL SEWER PLUGGING AND PUMPING EQUIPMENT NECESSARY TO AVOID SPLASH. CONTRACTOR SHALL NOT OPERATE VALVES ON EXISTING WATER MAINS.
18. UNLESS OTHERWISE SPECIFIED OR REQUIRED BY THE REGULATORY AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT: a. ALL MATERIAL USED FOR SEWERS 8" AND LARGER SHALL BE AT A MINIMUM SDR 26 PVC b. ALL MATERIAL USED FOR SEWER SERVICE LINES SHALL BE SCHEDULE 40 PVC
19. FOR MANHOLES LOCATED WITHIN PAVED AREAS CONTRACTOR SHALL MATCH TOP OF PROPOSED SANITARY SEWER MANHOLE TO PROPOSED GRADES. IF A DISCREPANCY OCCURS BETWEEN PROPOSED GRADES AND PROPOSED STRUCTURE TOPS, THE GRADING SHALL GOVERN. IF THE DISCREPANCY IS MORE THAN 4 INCHES, THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.
20. IF SANITARY SEWER MANHOLE IS LOCATED IN A GRASS AREA OR SLOPE, CONTRACTOR SHALL CONSTRUCT MANHOLE TOP TO AN ELEVATION 6 INCHES HIGHER THAN THE PROPOSED GRADES. IF THIS CANNOT BE ACHIEVED THEN CONTRACTOR SHALL USE A WATER TIGHT MANHOLE RIM AND COVER THAT MEETS OR EXCEEDS THE OWNER'S/DEVELOPER'S STANDARD SITE SPECIFICATIONS.
21. ALL UTILITIES INCLUDING STORM SEWER, SHOWN WITHIN PUBLIC EASEMENTS OR RIGHT OF WAYS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. ALL OTHER UTILITIES SHALL BE CONSTRUCTED TO THE CLIENT'S SPECIFICATIONS. THE REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION OR FOLLOW THE "10 STATE STANDARDS RECOMMENDED STANDARDS FOR WASTEWATER FACILITIES, CURRENT EDITION" WHICHEVER IS MORE STRINGENT. IF THERE IS A QUESTION AS TO WHICH SPECIFICATIONS SHOULD APPLY THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.
22. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES ON ADJUSTING EXISTING UTILITY LINE AS REQUIRED BY CUT AND FILL AT NO ADDITIONAL COST TO THE OWNER.
23. CONTRACTOR SHALL NOTIFY ENGINEER OF RECORD AND ARCHITECT SHOULD ANY LIGHT POLE OR SIGN FOUNDATIONS CONFLICT WITH ANY UTILITY AND / OR STORM SEWER SYSTEM.
24. GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL TAP AND TIE ON FEES REQUIRED, AS WELL AS COST OF UNDERGROUND SERVICE CONNECTIONS TO THE BUILDING.
25. ELECTRICAL SERVICE TO PAD MOUNTED TRANSFORMER SHALL BE RUN UNDERGROUND, FROM ROAD RIGHT-OF-WAY TO TRANSFORMER LOCATION. ASSOCIATED COST SHALL BE COVERED BY GENERAL CONTRACTOR, (UNLESS OTHERWISE SPECIFIED).
26. UTILITY CONTRACTOR SHALL FURNISH TELEPHONE CONDUIT(S) AS SHOWN ON PLAN, VERIFY LOCATION OF THEM AT TELEPHONE COMPANIES SERVICE LINE, PROVIDE NYLON PULL CORD INSIDE CONDUIT.
27. ALL DIMENSIONS, UNLESS OTHERWISE NOTED, ARE MEASURED TO THE CENTERLINE OF PIPE OR FITTING, FACE OF CURB, THE EDGE OF PAVEMENT, THE EDGE OF SIDEWALK, THE FACE CORNER OF THE BUILDINGS.
28. REFER TO PLUMBING SHEETS FOR EXACT LOCATION OF SEWER, DOMESTIC, AND IRRIGATION CONNECTIONS.
29. ALL TRENCHING, PIPE LAYING, AND BACK FILLING PROCEDURES SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
30. GENERAL CONTRACTOR SHALL HAVE APPROVAL OF ALL REGULATORY AGENCIES HAVING JURISDICTION OVER THE SYSTEM PRIOR TO INSTALLATION.
31. ALL WORK DONE WITHIN A PUBLIC RIGHT OF WAY OR OTHERWISE NOTED ON THESE PLANS SHALL BE CONSTRUCTED TO THE GOVERNING AGENCY'S SPECIFICATIONS. IF ANY WORK DONE IS NOT PROTOTYPICAL OR CONSTRUCTION CANNOT BE ACHIEVED CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO OZARK CIVIL ENGINEERING, INC. FOR REVIEW AND APPROVAL.
32. ALL WORK DONE ON-SITE SHALL BE CONSTRUCTED TO THE CLIENT'S SPECIFICATION OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION, WHICHEVER IS MORE STRINGENT. IF THERE IS A QUESTION AS TO WHICH SPECIFICATIONS SHOULD APPLY THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD.

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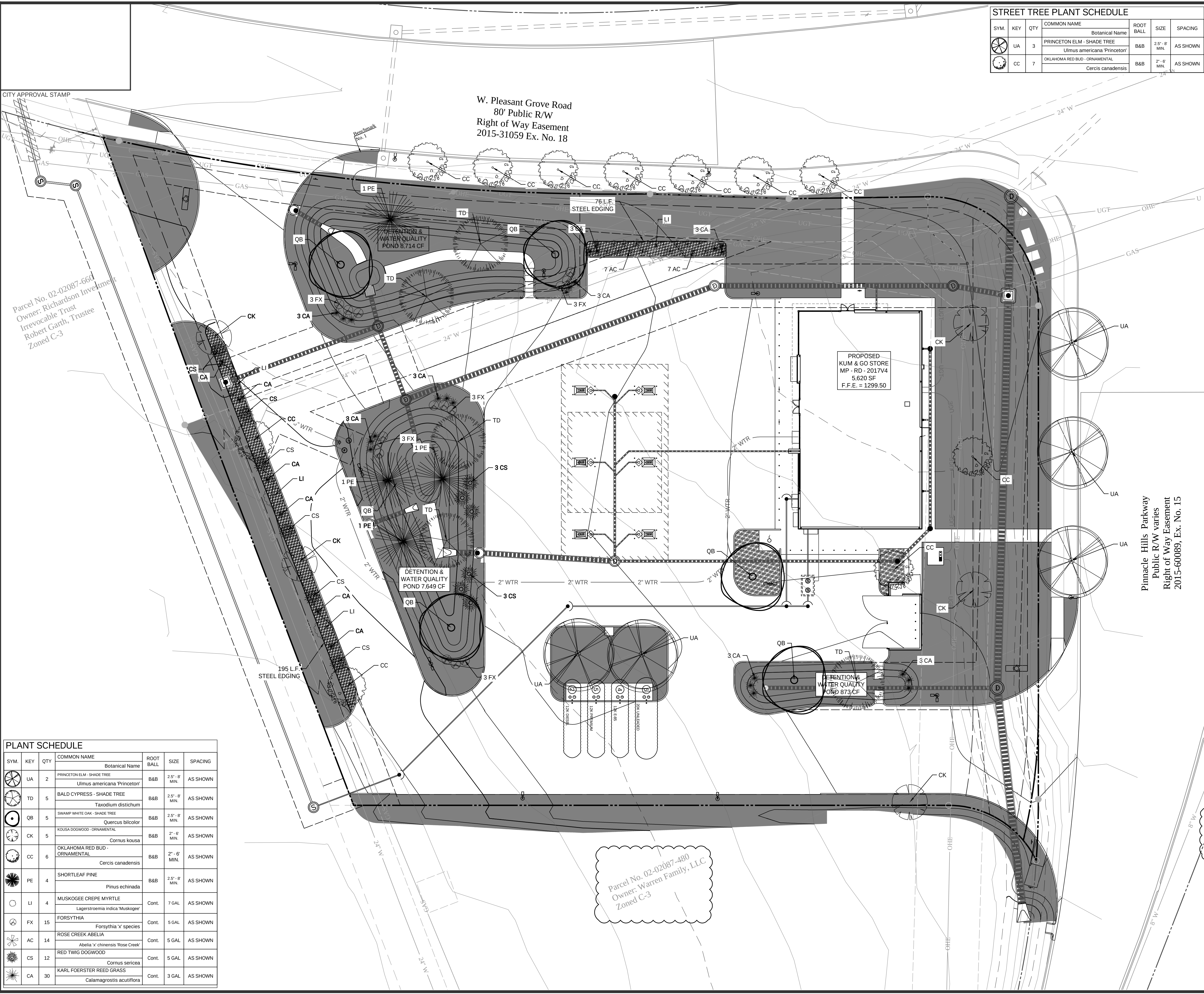
6400 Westown Parkway
West Des Moines, Iowa 50266
P: 515-226-0128

2420 - ROGERS, AR
5120 W. PLEASANT GROVE RD.
UTILITY PLAN

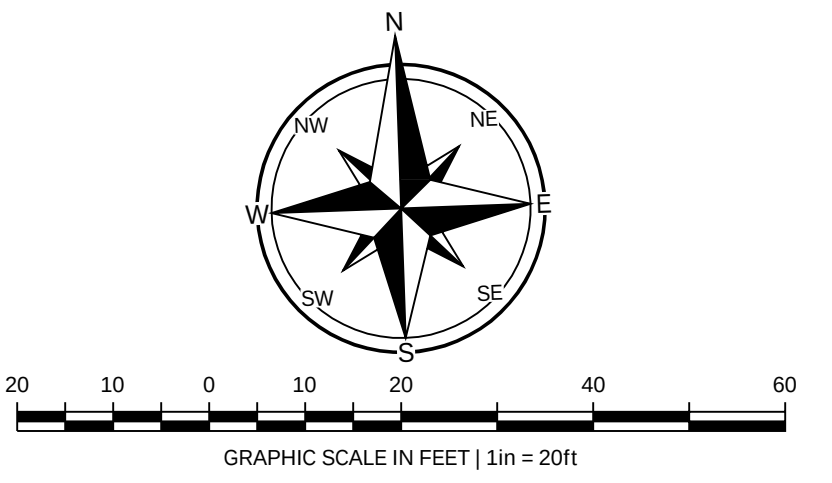
KG PROJECT TEAM:
RDM: Alex Sappingfield
SDM: Dan Garneau
CPM: Scott Newbury

REVISION DESCRIPTION	DATE

DATE: 03/05/2021
SHEET NUMBER: C6.0



STREET TREE PLANT SCHEDULE						
SYM.	KEY	QTY	COMMON NAME	Botanical Name	ROOT BALL	SIZE
UA	3		PRINCETON ELM - SHADE TREE	Ulmus americana 'Princeton'	B&B	2.5' - 8' MIN.
CC	7		OKLAHOMA RED BUD - ORNAMENTAL	Cercis canadensis	B&B	2' - 6' MIN.



PROPOSED FEATURES		REFER TO SURVEY FOR EXISTING FEATURES
GENERAL FEATURES		
---	PROPERTY LINE	
---	SUBDIVISION / OUTPARCEL PROPERTY LINE	
---	EDGE OF ASPHALT	
---	EDGE OF GRAVEL	
---	CONCRETE CURB AND GUTTER REFER TO SITE PLAN FOR TYPE AND SIZE	
X	FENCING REFER TO SITE PLAN FOR TYPE AND SIZE	
---	STORM SEWER REFER TO PLAN FOR TYPE AND SIZE	
XX LF TYPE @ XX%	SEWER LINES REFER TO UTILITY PLAN FOR TYPE AND SIZE	
XX" WTR	WATERLINES REFER TO UTILITY PLAN FOR TYPE AND SIZE	
UG-	UNDERGROUND ELECTRIC SERVICE	
OHE	OVERHEAD ELECTRIC SERVICE	
UGT	UNDERGROUND TELEPHONE SERVICE	
OHT	OVERHEAD TELEPHONE SERVICE	
FO	FIBER OPTIC CABLE SERVICE	
GAS	GAS SERVICE	
---	RIP RAP REFER TO EROSION CONTROL PLANS FOR TYPE AND SIZE	
DRAINAGE STRUCTURES REFER TO GRADING PLAN FOR TYPE		
UTILITY STRUCTURES REFER TO UTILITY PLAN FOR TYPE		
WATER LINE TEE, BEND, VALVE, AND PLUG		
SITE LIGHTING REFER TO ELECTRICAL PLAN FOR TYPE, SIZE & DETAILS		
LANDSCAPING FEATURES		
---	STEEL EDGING	
---	LANDSCAPE BUFFER AREA	
---	NATIVE, DROUGHT TOLERANT, SEEDED TURF AREA.	
---	NATIVE, DROUGHT TOLERANT, SOODED TURF AREA PER KUM & GO SPECIFICATIONS.	
---	4"-6" ROUNDED RIVER BED GRAVEL MULCH AT 8" MIN. DEPTH	
---	SOIL MEDIA (SEE DETAIL F - SHEET C5.2)	

- ### GENERAL NOTES
- THE CONTRACTOR SHALL FOLLOW ALL LOCAL CODES THAT PERTAIN TO LANDSCAPE INSTALLATION, AND SHALL NOTIFY THE LANDSCAPE ARCHITECT (LA) OR DESIGNATED REPRESENTATIVE (DR) REGARDING ANY DISCREPANCIES BETWEEN LOCAL CODES, PLANS, AND SPECIFICATIONS.
 - THE CONTRACTOR SHALL VERIFY DEPTHS AND LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES, UNDERGROUND UTILITIES AND SITE LIGHTING CONDUITS WITHIN THE PROJECT SITE BEFORE LANDSCAPE CONSTRUCTION BEGINS.
 - THE CONTRACTOR SHALL KEEP THE PREMISES FREE FROM RUBBISH AND ALL DEBRIS ASSOCIATED WITH THE WORK AT ALL TIMES. ALL UNUSED MATERIALS AND DEBRIS SHALL BE REMOVED FROM THE SITE.
 - THE CONTRACTOR SHALL BE REQUIRED TO PERFORM A WATER PERMEABILITY TEST TO DETERMINE SOIL QUALITY. TEST IS PERFORMED BY DRIVING A SHARP SHOOTER SHAPED 18" (INCHES) INTO THE GROUND. FILL THE HOLE WITH WATER. RETURN TO THE TEST SITE AFTER 18 HOURS TO VISUALLY CONFIRM IF THE HOLE STILL RETAINS WATER. IF THE SOIL IS DETERMINED TO BE TOO POOR FOR PLANTING CONDITIONS, TO REMEDY POOR SOIL CONDITIONS THE CONTRACTOR SHALL BE REQUIRED TO OVER EXCAVATE THE SOIL TO THE DEPTH OF THE ROOT BALL AND REPLACE THE SOIL WITH QUALITY PLANTING SOIL AS SPECIFIED ON THE PLANS PRIOR TO PLANTING TREES OR SHRUBS.
 - ALL LANDSCAPE MATERIALS TO BE WATERED BY CONTRACTOR UNTIL ESTABLISHED.
 - PLANT MATERIAL:
 - SHALL BE INSTALLED BY THE CONTRACTOR PER DETAILS (REFER TO DETAIL SHEETS) AND CLIENTS SPECIFICATION OR REQUIREMENTS OF THE REGULATORY AUTHORITY HAVING JURISDICTION WHICHEVER IS MORE STRINGENT.
 - THE CONTRACTOR ACCEPTS ALL LIABILITY FOR THE INSTALLATION LANDSCAPING DEPICTED ON THESE PLANS AND SHALL BE GUARANTEED FOR A PERIOD OF 24 MONTHS AFTER SUBSTANTIAL COMPLETION. LETTER IS ISSUED AND/OR ACCEPTANCE OF FINISHED JOB. ALL DEAD OR DAMAGED PLANT MATERIAL SHALL BE REPLACED ONE TIME WHEN DISCOVERED AT THE CONTRACTOR'S EXPENSE.
 - QUALITY SHALL COMPLY TO THE HIGHEST STANDARDS IN THE NURSERY INDUSTRY. GRASS SOO AND PLANTS SHALL BE REASONABLY CLEAN AND FREE OF WEEDS, PESTS, DISEASES.
 - SHALL NOT BE PLANTED IN FROZEN GROUND.
 - ANY EXISTING TREES DESIGNATED TO BE SAVED MUST BE PRESERVED DURING CONSTRUCTION.
 - ALL PLANTING BEDS AND TREE PLANTING PITS TO BE FILLED WITH A MIXTURE OF 30% COMPOST (COW MANURE ROOM OR COTTON BURL) 20% PEAT MOSS AND 50% TOPSOIL BY VOLUME. ALSO, MIX IN 1LB 10-20-10 SLOW RELEASE PLANT FERTILIZER PER 10 SQ. FT. OR AS RECOMMENDED BY THE SOIL ANALYSIS.
 - STAKES FOR THE SUPPORT SHALL BE STEEL, 1" BAR FENCE POST, 6' LONG, PAINTED DARK GREEN WITH TOP 6" PAINTED WHITE. TREE TIE SYSTEMS SHALL BE EASILY ADJUSTABLE, STRONG IN ALL WEATHERS AND EASILY ATTACHED AND REMOVED. HOSE AND WIRE ARE NOT ACCEPTABLE FOR STAKED TREES. TREE TIE SYSTEMS SHALL BE 20' GOWITT (BLACK) TREE STRAP/SLING 15-40 (60 PER CASE) OR APPROVED EQUAL OR PLASTIC TIE. ALLOWED. WIRE: 14 GAUGE ELECT. FENCE WIRE.
 - ALL PLANTING BEDS AS DESIGNATED ON THESE PLANS SHALL BE BORDERED BY 2" x 4" PAINTED BROWN STEEL EDGING AND PRESENT OR APPROVED EQUAL WITH INTEGRATED STAKES THROUGH SLOTS IN THE EDGING. (REFER TO DETAIL SHEETS FOR ACCEPTED EDGING MATERIAL).
 - ALL PLANTING BEDS AND PLANTING BEDS WITH 4" OF EITHER SHREDDED HARDWOOD BARK MULCH OR CYPRESS MULCH. IN THE SEASONAL FLOWER BEDS USE EITHER CYPRESS OR PINE BARK MULCH; DO NOT USE HARDWOOD MULCH IN SEASONAL FLOWER BEDS.
 - ALL PLANTING AREAS SHALL RECEIVE A THREE INCH (3") TOP DRESSING OF MULCH OVER A 10 MIL WEED MAT EQUAL TO "WEEDBLOCK" FABRIC BY "EASY GARDENER" OR DOWITT WEED BARRIER. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND (REFER TO PLANTING DETAILS).
 - ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION EXCEPT THOSE OCCUPIED BY BUILDINGS, STRUCTURES, OR PAVING SHALL BE GRADED SMOOTH AND 4" (INCHES) OF TOPSOIL APPLIED. (REFER TO THE EROSION CONTROL DETAIL SHEETS) FOR TOPSOIL AND SEEDING SPECIFICATIONS.
 - CONTRACTOR SHALL FERTILIZE ALL PLANTS AT THE TIME OF PLANTING WITH 10-10-10 TIME RELEASE FERTILIZER.
 - LANDSCAPE CONTRACTOR SHALL OBTAIN AN ORIGINAL PRINT OF THIS PLAN TO ENSURE THAT ALL LINE WEIGHTS, LINE TYPES AND SHADINGS ARE COMPLETELY LEGIBLE AS ORIGINALLY PRINTED.

CITY NOTES & REQUIREMENTS	
NOTES:	
1. PLANTINGS IN EXCESS OF MINIMUM REQUIREMENTS MAY NOT BE REDUCED ONCE APPROVED BY PLANNING COMMISSION.	
2. OWNER/DEVELOPER MUST PROVIDE A THREE YEAR GUARANTEE, STARTING ONCE INSTALLATION IS COMPLETE, FOR MAINTAINING AND REPLACING LANDSCAPING BEFORE ISSUANCE OF C OF O.	
GREEN SPACE INFORMATION	
TOTAL NET SITE AREA	± 2.394 AC / 104,288.984 SF
GREEN SPACE REQUIRED (20% OF SITE)	± 0.48 AC / 20,857.80 SF
GREEN SPACE PROVIDED	± 0.99 AC / 43,157.609 SF (41.38%)
TREE & SHRUB INFORMATION	
TREE & SHRUBS REQUIRED	53 TREES/SHRUBS
1 TREE/SHRUB PER 2,000 SF OF SITE AREA	14 TREES
25% OF PLANTING SHALL BE TREES	14 TREES
TREE & SHRUBS PROVIDED	72 TREES/SHRUBS
TOTAL TREES PROVIDED	28 TREES

PLANT SCHEDULE						
SYM.	KEY	QTY	COMMON NAME	Botanical Name	ROOT BALL	SIZE
UA	2		PRINCETON ELM - SHADE TREE	Ulmus americana 'Princeton'	B&B	2.5' - 8' MIN.
TD	5		BALD CYPRESS - SHADE TREE	Taxodium distichum	B&B	2.5' - 8' MIN.
QB	5		SWAMP WHITE OAK - SHADE TREE	Quercus bicolor	B&B	2.5' - 8' MIN.
CK	5		KOUSA DOGWOOD - ORNAMENTAL	Cornus kousa	B&B	2' - 6' MIN.
CC	6		OKLAHOMA RED BUD - ORNAMENTAL	Cercis canadensis	B&B	2' - 6' MIN.
PE	4		SHORTLEAF PINE	Pinus echinata	B&B	2.5' - 8' MIN.
LI	4		MUSKOGEE CREPE MYRTLE	Lagerstroemia indica 'Muskogee'	Cont.	7 GAL.
FX	15		FORSYTHIA 'X' SPECIES	Forsythia 'X' species	Cont.	5 GAL.
AC	14		ROSE CREEK ABELIA	Abelia 'X' chinensis 'Rose Creek'	Cont.	5 GAL.
CS	12		RED TWIG DOGWOOD	Cornus sericea	Cont.	5 GAL.
CA	30		KARL FOERSTER REED GRASS	Calamagrostis acutiflora	Cont.	3 GAL.

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Registered Professional Engineer
ANTHONY W. VANDENBERG
No. 9108
State of Arkansas

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West Des Moines, Iowa
50266
P: 515-226-0128

2420 - ROGERS, AR
5120 W. PLEASANT GROVE RD.
LANDSCAPE PLAN

KG PROJECT TEAM:
RDM: Alex Sappingfield
SDM: Dan Garneau
CPM: Scott Newbury

REVISIONS	DATE	REVISION DESCRIPTION
1	02/16/2021	

SHEET NUMBER:
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COMMUNITY DEVELOPMENT
PLANNING DIVISION
301 W. CHESTNUT
planning@rogersar.gov
(479) 621-1186

MEETING DATE
March 16, 2021

TO: PLANNING COMMISSION
DEVELOPMENT REVIEW COMMITTEE

RE: **STAFF SUMMARY REPORT**
LOT SPLIT – HUFFMAN & CO.

STAFF: Amber Long, PLANNER I

REQUEST DETAILS

PROJECT NAME:	Huffman & Company
ADDRESS/LOCATION:	NE corner of W. Pauline Whitaker Pkwy. and S. Champions Dr.
CURRENT USE:	Undeveloped
CURRENT ZONING:	Residential Multifamily, Rental, 29 units/acre (RMF-29B), Planned Unit Development (PUD)
CGM GROWTH DESIGNATION:	Regional Center
APPLICANT/REPRESENTATIVE:	Daniel Ellis, Crafton Tull
PROJECT OWNER/DEVELOPER:	Huffman & Company
PROPERTY OWNER:	Pinnacle Corner, LLC.
NATURE OF REQUEST:	Approval of Lot Split
AUTHORITY:	Chapter 14, Article V, Rogers Code of Ordinances

SUMMARY

This request is to approve a lot split resulting in 32 lots on 1.03 acres of land in association with the Pinnacle Heights Subdivision and the West Village PUD. Per Sec. 14-578(c)(3), Planning Commission approval is required for splits exceeding the number of lots allowed by administrative approval. The proposed split meets all other City requirements. See PLANNING REVIEW for additional findings.

Community Development recommends **approval** of this request.

PLANNING REVIEW

1. DEVELOPMENT STANDARDS:

The proposed lot split conforms to all development standards required by Sec. 14-578 and the West Village PUD.

a) Lot Dimensions:

All lot dimension requirements have been met. The West Village PUD established zoning standards based on the Downtown Rogers Development Code which does not require minimum lot dimensions.

b) Lot Access:

All lot access requirements have been met.

c) Number of Lots:

The proposed lot split results in 32 lots which exceeds the number of lots allowed by administrative approval (7).

d) Required Infrastructure:

All necessary street and utility infrastructure already exists or will be further improved during development.

2. GENERAL FINDINGS:

a) This request is associated with the Pinnacle Heights Subdivision (L202013247) and West Village PUD. It proposes 28 buildable lots, 4 non-buildable lots, a 2.5' pedestrian ingress/egress easement, a 13.5' pedestrian access/utility easement, and a drainage easement of varied width. It also includes a proposed vacation of a 25' drainage and utility easement, a 30' utility easement, and a 20' utility easement. This requires Planning Commission approval since the 32 proposed lots exceed the maximum number of lots that staff can approve administratively.

b) The existing infrastructure and dedications were provided by previous plats and construction projects. Future lot development is subject to the requirements of the West Village PUD and all other relevant City Code.

3. RECOMMENDATIONS:

a) Approve request.

DIRECTOR'S COMMENTS

1. Agree with recommendations.



JOHN C. MCCURDY, Director
Community Development

SUGGESTED MOTIONS

1. IF APPROVING:

Move to approve the request as presented.

2. IF APPROVING SUBJECT TO OTHER ACTIONS:

Move to approve the request subject to [conditions, contingencies, waivers/variances].

3. IF DENYING:

Move to deny the request.

4. IF TABLING:

Move to table the request.

TABS

1. Vicinity maps (aerial, CGM, zoning)

2. Tract Split Survey

TAB 1

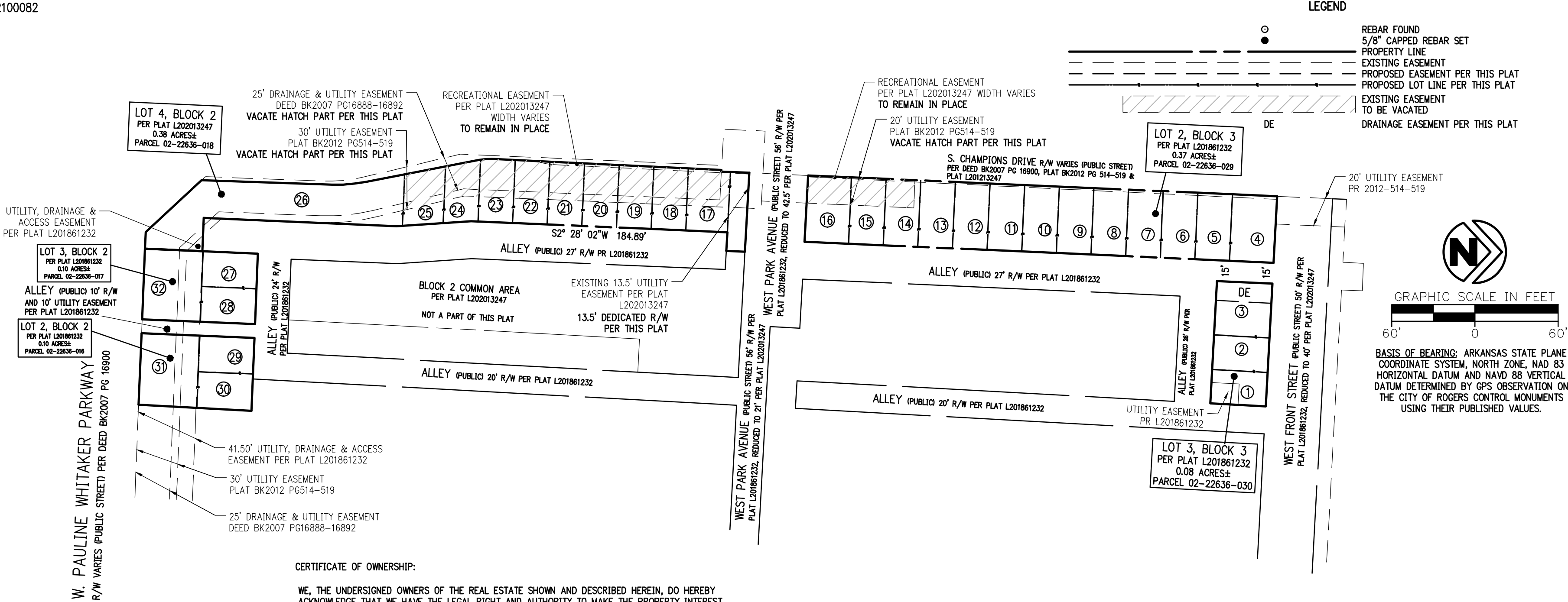
AERIAL VICINITY MAP





DRAWING: G:\2011\2400-PINACOR\INSTRUMENTS\SURVEY\DWG\2011\2400-REPLAT.PAGE_1.DWG
LAYOUT: LAYOUT BY: MARK A. MEADOR, 3/9/2021 4:23:59 PM, PLOTTED BY: "VALID ON HARD COPY ONLY"

CITY VIEW #PL202100082



SUBDIVISION DESCRIPTION

LOTS 2 THROUGH 3 OF BLOCK 2 AND LOTS 2 THROUGH 3 OF BLOCK 3, PINNACLE HIEGHTS ACCORDING TO PLAT DOCUMENT NUMBER L201861232.

AND

LOT 4 OF BLOCK 2, PINNACLE HIEGHTS ACCORDING TO PLAT DOCUMENT NUMBER L202013247.

CONTAINING AN AGGREGATE TOTAL OF 1.03 ACRES MORE OR LESS.

CERTIFICATE OF OWNERSHIP:

WE, THE UNDERSIGNED OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY ACKNOWLEDGE THAT WE HAVE THE LEGAL RIGHT AND AUTHORITY TO MAKE THE PROPERTY INTEREST GRANTS CONTAINED ON AND WITHIN THIS DOCUMENT. WE, THE UNDERSIGNED OWNERS OF THE REAL ESTATE SHOWN AND DESCRIBED HEREIN, DO HEREBY ESTABLISH, GRANT, AND DEDICATE TO THE CITY OF ROGERS, ARKANSAS THE RIGHTS-OF-WAY, EASEMENTS, STREETS, AND ALLEYS AS SHOWN ON THIS PLAT FOR PUBLIC USE, BENEFIT, AND ACCESS. THE CITY OF ROGERS IS FURTHER GRANTED THE RIGHTS OF INGRESS AND EGRESS TO AND FROM SAID RIGHTS-OF-WAY, EASEMENTS, STREETS, AND ALLEYS. THE CITY OF ROGERS IS ALSO GRANTED THE RIGHT AND AUTHORITY TO MAINTAIN, SERVICE, AND IMPROVE SAID RIGHTS-OF-WAY, EASEMENTS, STREETS, AND ALLEYS AND THE IMPROVEMENTS CONTAINED THEREIN. ANY RIGHT OR AUTHORITY GRANTED ABOVE SPECIFICALLY REGARDING MAINTENANCE, SERVICE, OR IMPROVEMENT SHALL BE EXERCISED IN A MANNER CHOSEN AT THE DISCRETION OF THE CITY OF ROGERS. SAID RIGHTS-OF-WAY, EASEMENTS, STREETS, AND ALLEYS SHALL BE FOR THE BENEFIT OF THE CITY OF ROGERS AND ALL OF ITS FRANCHISED UTILITY PROVIDERS. THE CITY OF ROGERS AND ITS FRANCHISED UTILITY PROVIDERS SHALL HAVE THE RIGHT AND AUTHORITY TO CUT, TRIM, OR REMOVE TREES, SHRUBS, AND OTHER VEGETATION WITHIN SAID RIGHTS-OF-WAY, EASEMENTS, STREETS, AND ALLEYS. THE CITY OF ROGERS AND ALL OF ITS FRANCHISED UTILITY PROVIDERS SHALL ALSO HAVE THE RIGHT AND AUTHORITY TO PROHIBIT THE ERECTION OF BUILDING, STRUCTURES, OR FENCES WITHIN SAID RIGHTS-OF-WAY, EASEMENTS, STREETS, AND ALLEYS.

BY: PINNACLE CORNER LLC, AN ARKANSAS LIMITED LIABILITY COMPANY
BY: J.B. HUNT, LLC, ITS MANAGING MEMBER
BY: JOHNELLE HUNT, MANAGER

STATE OF ARKANSAS)
COUNTY OF) SS
SUBSCRIBED AND SWORN BEFORE ME THIS ____ DAY OF _____, 2021
MY COMMISSION EXPIRES:

NOTARY PUBLIC _____

NOTES:

ADDRESSES SHOWN ON SHEETS 2 AND 3 ARE AS PROVIDED BY BENTON COUNTY 911 COORDINATOR. ADDRESSES SHOWN HEREON ARE SUBJECT TO CHANGE AND SHOULD NOT BE USED FOR CONVEYANCE OR ACQUISITION PURPOSES.

THE SURVEY SHOWN HEREON IS AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THIS SURVEY AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

THE PROPERTY IS ZONED RMF-29B (PUD).

THE PROPERTY SURVEYED IS WITHIN THE MUNICIPAL LIMITS OF ROGER, AR.

THERE MAY BE BUILDINGS AND OTHER IMPROVEMENTS ON THE PROPERTY THAT ARE NOT SHOWN ON THIS PLAT.

THE BOUNDARY DETERMINATION SHOWN HEREON WAS BASED UPON THE FOLLOWING PLAT AND NO OTHERS: PLAT BOOK 2012 PAGE 514-519, PLAT L201861232, AND PLAT L202013247.

THE SURVEYOR HAS NOT MADE A SEPARATE INVESTIGATION OR SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, OR RESTRICTIVE COVENANTS. ANY EASEMENTS SHOWN HEREON CAME TO THE ATTENTION OF THE SURVEYOR IN THE COURSE OF HIS RESEARCH OF THE PROPERTY BOUNDARY. OTHER RECORD EASEMENTS, ENCUMBRANCES, OR COVENANTS MAY EXIST ON THE SURVEYED PROPERTY.

NO ATTEMPT WAS MADE TO SHOW BUILDING SETBACK LINES GRAPHICALLY ON THE SURVEY. THE DESIGNATION OR ORIENTATION OF SETBACKS THAT AFFECT THE USE OF THIS PROPERTY ARE DETERMINED BY THE LOCAL GOVERNING JURISDICTION. SETBACK DIMENSIONS WILL BE BASED ON THE ORIENTATION OF THE BUILDINGS TO BE CONSTRUCTED.

SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT CONSIDERED A PART OF THIS SURVEY AND NO INVESTIGATION OF THESE CONDITIONS WAS MADE.

NO ATTEMPT HAS BEEN MADE AS A PART OF THIS SURVEY TO OBTAIN OR SHOW DATA CONCERNING THE EXISTENCE, OR LOCATION OF ANY UTILITIES OR SERVICE LINES. FOR INFORMATION REGARDING SUCH ITEMS, CONTACT THE APPROPRIATE AGENCIES.

NO PART OF THIS PROPERTY IS IN FLOOD ZONE "A" OR "AE", IS LOCATED INSIDE THE 100-YEAR FLOOD PLAIN AS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM'S FIRM PANEL NUMBER 05007C0265K, EFFECTIVE DATE JUNE 5, 2012 AND NATIONAL FLOOD INSURANCE PROGRAM'S FIRM PANEL NUMBER 05007C0270K, EFFECTIVE DATE JUNE 5, 2012.

THE ABOVE STATEMENT IS FOR INFORMATION ONLY AND THIS SURVEYOR ASSUMES NO LIABILITY FOR THE CORRECTNESS OF THE CITED MAP(S). IN ADDITION, NO INDEPENDENT STUDY OF THE LIKELIHOOD OF FLOODING OF THE SURVEYED PROPERTY HAS BEEN DONE BY THE SURVEYOR AND NO OPINION OF FLOOD HAZARDS IS INCLUDED IN THIS SURVEY. THE FLOOD HAZARD ZONE BOUNDARIES SHOWN HEREON WERE SCALED FROM THE MAPS CITED AND ARE NOT THE RESULT OF INDEPENDENT COMPUTATION OR ANALYSIS.

THIS PLAT CREATES 32 LOTS OF WHICH 4 ARE NON BUILDABLE.

CERTIFICATE OF APPROVAL OF EASEMENT RELEASE:

WE HEREBY CERTIFY THAT WE HAVE REVIEWED THE REQUEST FOR AN EASEMENT RELEASE FOR THE PROPERTY AS SHOWN ON THIS PLAT, AND HEREBY APPROVE THE RELEASE FOR THAT PORTION OF THE PROPERTY AS INDICATED ON THIS PLAT.

DATE CARROLL ELECTRIC
DATE BLACK HILLS ENERGY ARKANSAS, INC
DATE COX COMMUNICATIONS
DATE AT&T/SBC
DATE ROGERS WATER UTILITIES

ACCEPTANCE:

THIS PLAT IS HEREBY ACCEPTED THIS ____ DAY OF _____, 2021 BY THE ROGERS CITY COUNCIL.

CITY CLERK

MAYOR

ACCEPTANCE:

APPROVED AND RECOMMENDED FOR ACCEPTANCE BY THE DEPARTMENT OF COMMUNITY DEVELOPMENT OF ROGERS, ARKANSAS THIS ____ DAY OF _____, 2021.

DIRECTOR

RMF-29B (PUD) SETBACK TABLE

INFORMATION TAKEN FROM: "WEST VILLAGE - FINAL PUD APPLICATION" A UNDATED 12 PAGE DOCUMENT, BY GARDNER ARCHITECTS (SEE PAGE 9 THEREOF)

1. NO FRONT SETBACKS ALONG INTERIOR STREETS
2. MAXIMUM HEIGHT OF 6 STORIES WITH NO SIDE SETBACKS

LAND SURVEYOR'S DECLARATION:

I HEREBY DECLARE THAT ON THE ____TH DAY OF _____, 2021 THE HEREON PLATTED AND DESCRIBED SURVEY WAS COMPLETED UNDER MY SUPERVISION AND THE IRON PINS WERE FOUND OR SET, AS SHOWN, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

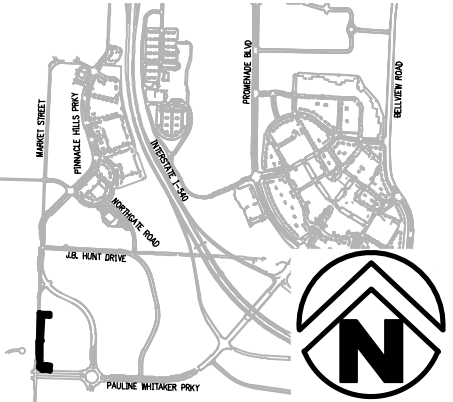
CRAFTON, TULL, & ASSOCIATES, INC.
BY MARK A. MEADOR (AGENT)

MARK A. MEADOR PLS 1304
REGISTERED PROFESSIONAL LAND SURVEYOR

ALL COPIES THAT DO NOT BEAR AN ORIGINAL SEAL AND SIGNATURE MAY HAVE BEEN ALTERED. THE ABOVE DECLARATION SHALL NOT APPLY TO ANY COPY THAT DOES NOT BEAR AN ORIGINAL SEAL AND SIGNATURE.

RECORD INFORMATION

VICINITY MAP



SEAL

LOT-SPLIT OF PINNACLE HEIGHTS
LOTS 2&3, BLK 2; LOTS 2&3 BLK 3
OF PLAT 201861232 AND
LOT 4, BLK 2 OF PLAT 202013247
ROGERS ARKANSAS

PREPARED FOR:
HUFFMAN & COMPANY

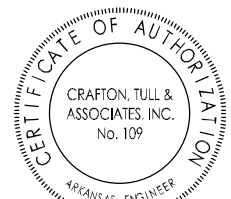
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500-19N-30W-Q-21-330-04-1304 & 500-19N-30W-Q-28-440-04-1304

DATE: 03/09/2021
PROJECT NO.: 20112400
CONTACT: M. MEADOR



CERTIFICATE OF AUTHORIZATION:



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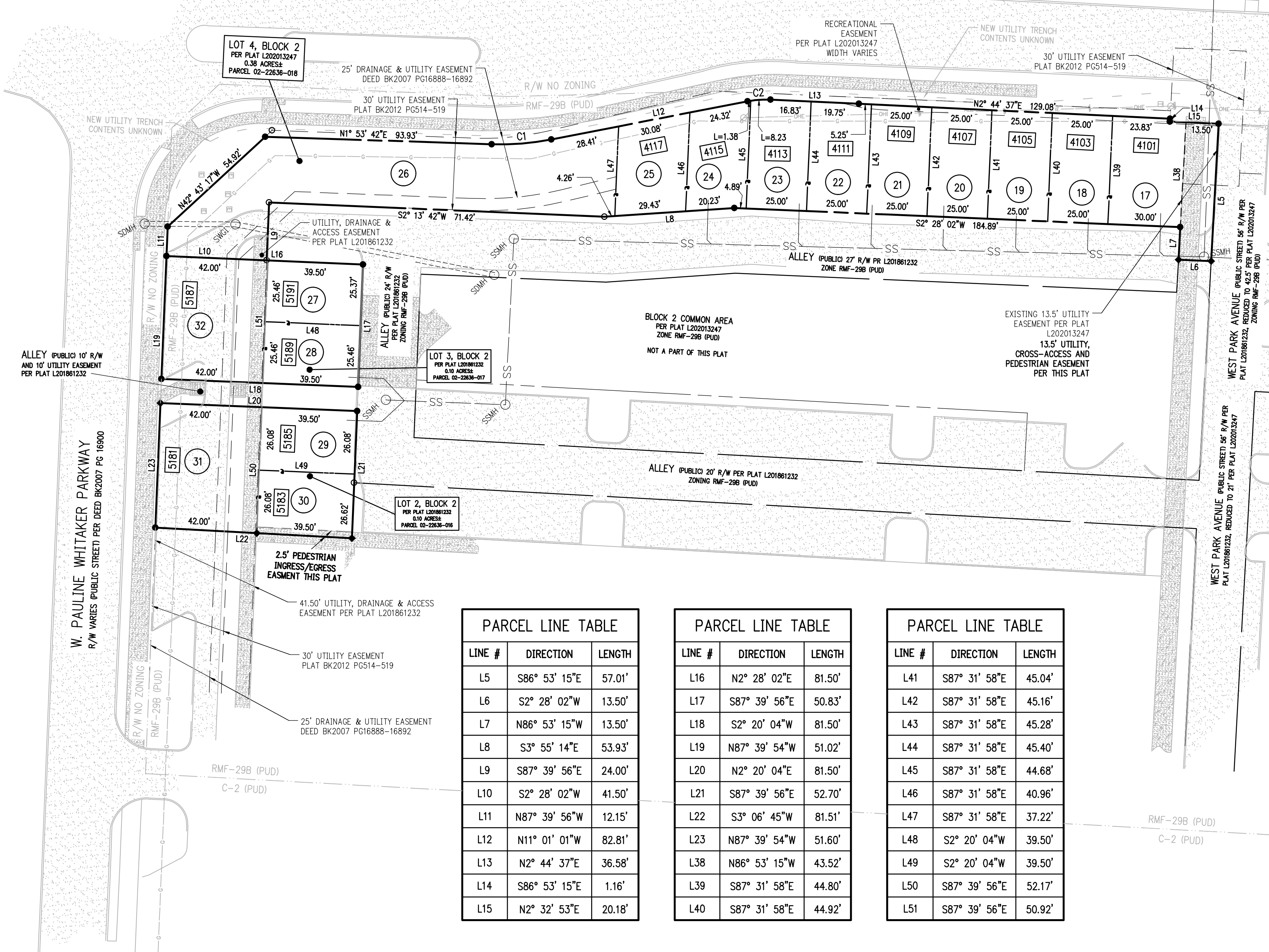
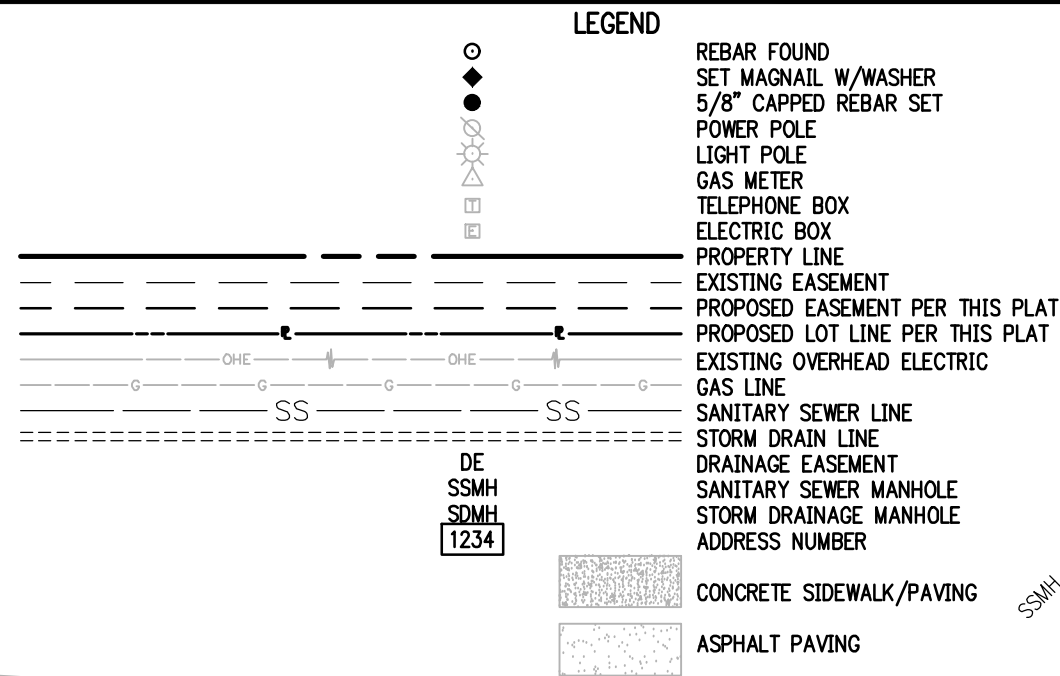
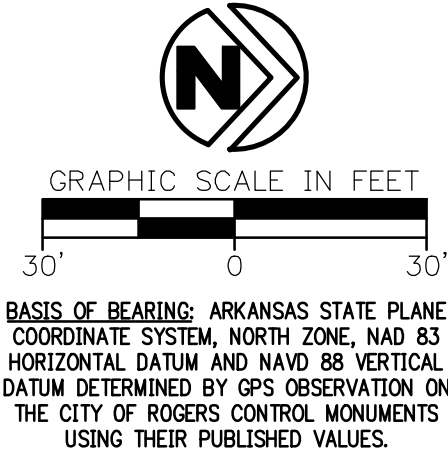
DELTA	DESCRIPTION	DATE

SHEET NO.:

1 OF 3

LOT NUMBER	AREA	CLASSIFICATION
17	2115 SQFT± OR 0.049 AC±	BUILDABLE
18	1122 SQFT± OR 0.026 AC±	BUILDABLE
19	1125 SQFT± OR 0.026 AC±	BUILDABLE
20	1128 SQFT± OR 0.026 AC±	BUILDABLE
21	1131 SQFT± OR 0.026 AC±	BUILDABLE
22	1134 SQFT± OR 0.026 AC±	BUILDABLE
23	1134 SQFT± OR 0.026 AC±	BUILDABLE
24	1065 SQFT± OR 0.024 AC±	BUILDABLE
25	1143 SQFT± OR 0.026 AC±	BUILDABLE
26	5544 SQFT± OR 0.127 AC±	NOT BUILDABLE
27	1004 SQFT± OR 0.023 AC±	BUILDABLE
28	1006 SQFT± OR 0.023 AC±	BUILDABLE
29	1030 SQFT± OR 0.024 AC±	BUILDABLE
30	1041 SQFT± OR 0.024 AC±	BUILDABLE
31	2179 SQFT± OR 0.050 AC±	NOT BUILDABLE
32	2140 SQFT± OR 0.049 AC±	NOT BUILDABLE

CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHORD DIRECTION	CHORD LENGTH
C1	24.79'	110.00'	12°54'43"	N4° 33' 39"W	24.74'
C2	9.61'	40.00'	13°45'37"	N4° 08' 12"W	9.58'



RECORD INFORMATION

VICINITY MAP

SEAL

LOT-SPLIT OF PINNACLE HEIGHTS
LOTS 2&3, BLK 2; LOTS 2&3 BLK 3
OF PLAT 201861232 AND
LOT 4, BLK 2 OF PLAT 202013247
ROGERS ARKANSAS

PREPARED FOR:
HUFFMAN & COMPANY

STATE PLAT CODE:
500-19N-30W-0-21-330-04-1304 & 500-19N-30W-0-28-440-04-1304

DATE: 02/17/2021
PROJECT NO.: 20112400
CONTACT: M. MEADOR

901 N. 47th St., Suite 400
Rogers, Arkansas 72756

Crafton Tull
architecture | engineering | surveying
479.636.4838 | 479.631.6224 | www.craftontull.com

CERTIFICATE OF AUTHORIZATION:
CRAFTON TULL & ASSOCIATES, INC.
No. 107

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DELTA	DESCRIPTION	DATE

SHEET NO.: 2 OF 3

PARCEL LINE TABLE		
LINE #	DIRECTION	LENGTH
L5	S86° 53' 15"E	57.01'
L6	S2° 28' 02"W	13.50'
L7	N86° 53' 15"W	13.50'
L8	S3° 55' 14"E	53.93'
L9	S87° 39' 56"E	24.00'
L10	S2° 28' 02"W	41.50'
L11	N87° 39' 56"W	12.15'
L12	N11° 01' 01"W	82.81'
L13	N2° 44' 37"E	36.58'
L14	S86° 53' 15"E	1.16'
L15	N2° 32' 53"E	20.18'

PARCEL LINE TABLE		
LINE #	DIRECTION	LENGTH
L16	N2° 28' 02"E	81.50'
L17	S87° 39' 56"E	50.83'
L18	S2° 20' 04"W	81.50'
L19	N87° 39' 54"W	51.02'
L20	N2° 20' 04"E	81.50'
L21	S87° 39' 56"E	52.70'
L22	S3° 06' 45"W	81.51'
L23	N87° 39' 54"W	51.60'
L38	N86° 53' 15"W	43.52'
L39	S87° 31' 58"E	44.80'
L40	S87° 31' 58"E	44.92'

PARCEL LINE TABLE		
LINE #	DIRECTION	LENGTH
L41	S87° 31' 58"E	45.04'
L42	S87° 31' 58"E	45.16'
L43	S87° 31' 58"E	45.28'
L44	S87° 31' 58"E	45.40'
L45	S87° 31' 58"E	44.68'
L46	S87° 31' 58"E	40.96'
L47	S87° 31' 58"E	37.22'
L48	S2° 20' 04"W	39.50'
L49	S2° 20' 04"W	39.50'
L50	S87° 39' 56"E	52.17'
L51	S87° 39' 56"E	50.92'

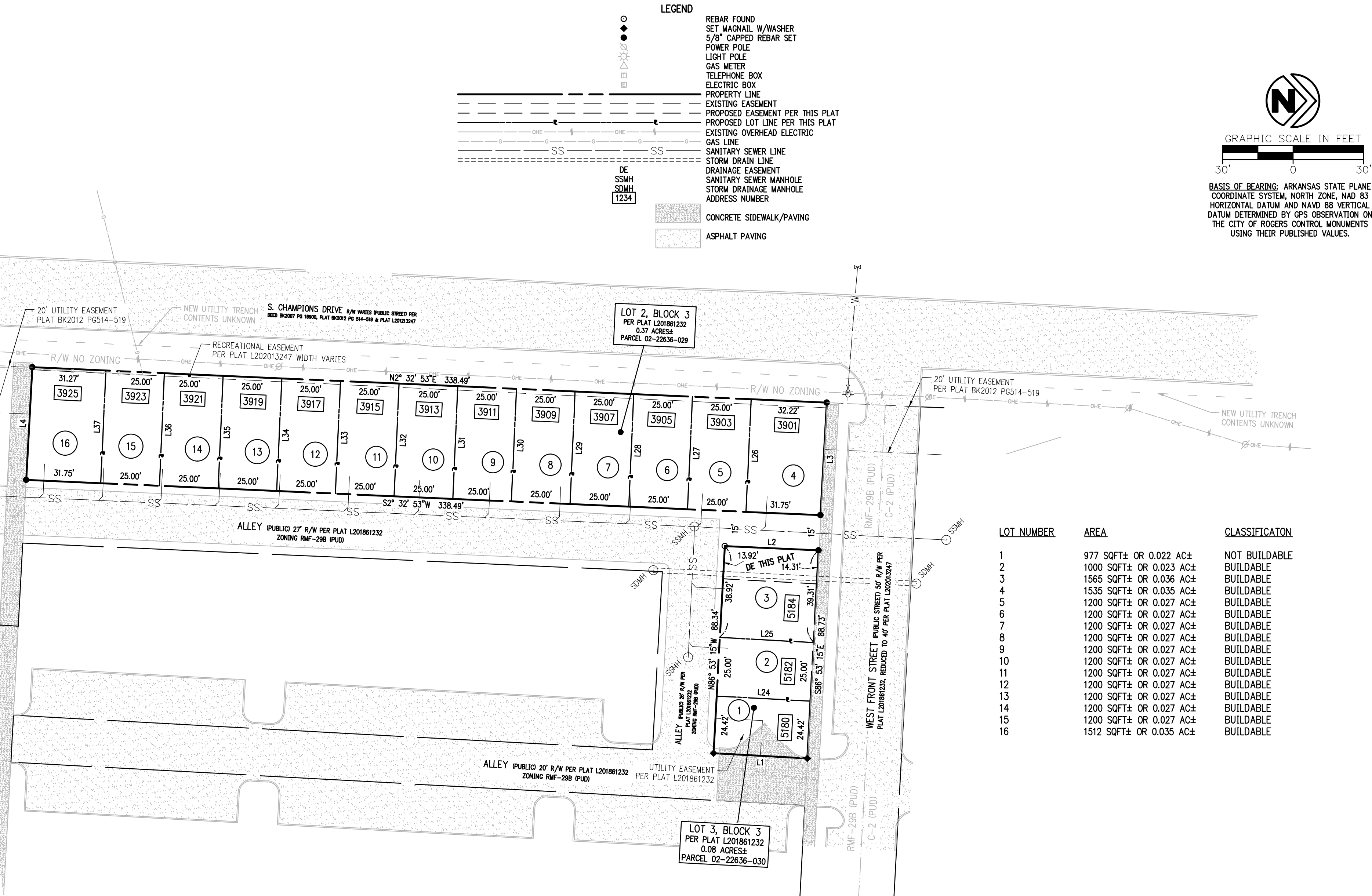
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LAST PLOTTED BY: MARK A. MEADOR, 2/17/2021 11:28:35 AM PLOTTED BY: VALID ON HARD COPY ONLY

PARCEL LINE TABLE		
LINE #	DIRECTION	LENGTH
L1	S3° 06' 45"W	40.00'
L2	N2° 32' 53"E	40.00'
L3	S86° 53' 15"E	48.00'
L4	N86° 53' 15"W	48.00'
L24	S3° 06' 45"W	40.00'
L25	S3° 06' 45"W	40.00'

PARCEL LINE TABLE		
LINE #	DIRECTION	LENGTH
L26	S87° 27' 07"E	48.00'
L27	S87° 27' 07"E	48.00'
L28	S87° 27' 07"E	48.00'
L29	S87° 27' 07"E	48.00'
L30	S87° 27' 07"E	48.00'
L31	S87° 27' 07"E	48.00'

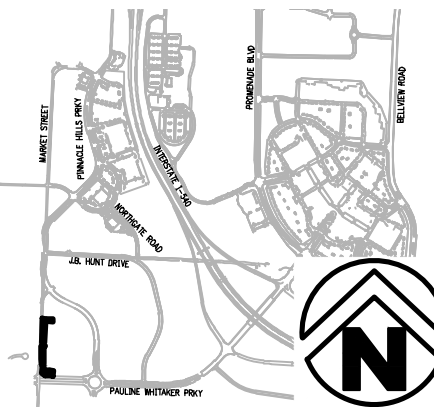
PARCEL LINE TABLE		
LINE #	DIRECTION	LENGTH
L32	S87° 27' 07"E	48.00'
L33	S87° 27' 07"E	48.00'
L34	S87° 27' 07"E	48.00'
L35	S87° 27' 07"E	48.00'
L36	S87° 27' 07"E	48.00'
L37	S87° 27' 07"E	48.00'



LOT NUMBER	AREA	CLASSIFICATION
1	977 SQFT± OR 0.022 AC±	NOT BUILDABLE
2	1000 SQFT± OR 0.023 AC±	BUILDABLE
3	1565 SQFT± OR 0.036 AC±	BUILDABLE
4	1535 SQFT± OR 0.035 AC±	BUILDABLE
5	1200 SQFT± OR 0.027 AC±	BUILDABLE
6	1200 SQFT± OR 0.027 AC±	BUILDABLE
7	1200 SQFT± OR 0.027 AC±	BUILDABLE
8	1200 SQFT± OR 0.027 AC±	BUILDABLE
9	1200 SQFT± OR 0.027 AC±	BUILDABLE
10	1200 SQFT± OR 0.027 AC±	BUILDABLE
11	1200 SQFT± OR 0.027 AC±	BUILDABLE
12	1200 SQFT± OR 0.027 AC±	BUILDABLE
13	1200 SQFT± OR 0.027 AC±	BUILDABLE
14	1200 SQFT± OR 0.027 AC±	BUILDABLE
15	1200 SQFT± OR 0.027 AC±	BUILDABLE
16	1512 SQFT± OR 0.035 AC±	BUILDABLE

RECORD INFORMATION

VICINITY MAP



SEAL

LOT-SPLIT OF PINNACLE HEIGHTS
LOTS 2&3, BLK 2; LOTS 2&3 BLK 3
OF PLAT 201861232 AND
LOT 4, BLK 2 OF PLAT 202013247
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DELTA	DESCRIPTION	DATE

SHEET NO.:

3 OF 3